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**PLANNING COMMISSION STAFF REPORT**  
**JUNE 15, 2017**

AGENDA ITEM 7.C. File No. PL16-0126 **BOUNTY HUNTER BUILDING**

**I. GENERAL INFORMATION**

**PROJECT SUMMARY:** Request for a new 28,180 square foot, four-story, mixed-use development on a 0.16 acre property.

**LOCATION OF PROPERTY:** 1005 and 1025 First Street  
APNs 003-221-001 and -002

**GENERAL PLAN:** DCC, Downtown Core Commercial

**ZONING:** DCC, Downtown Core Commercial; :BF, Building Form Overlay; :ED, Entertainment District Overlay; :PE, Parking Exempt Overlay

**APPLICANT / PROPERTY OWNER:** Taylor Lombardo (Pam Lao) Phone: (415) 433-7777  
40 Hotaling Place  
San Francisco, CA 94111

**STAFF PLANNER:** Victor Carniglia, Consulting Planner Phone: (707) 257-9354

**LOCATION MAP**



## II. PROJECT DESCRIPTION

The project site is one of the few remaining vacant parcels in Downtown Napa. Given its prominent location, the project site functions as a “gateway” into Downtown Napa and is at the symbolic city center at “First and Main Streets”. The proposed building is a 60-foot tall, four-story structure consisting of 28,180 square feet, including the basement. The building contains the following components, broken out by floor and/or function:

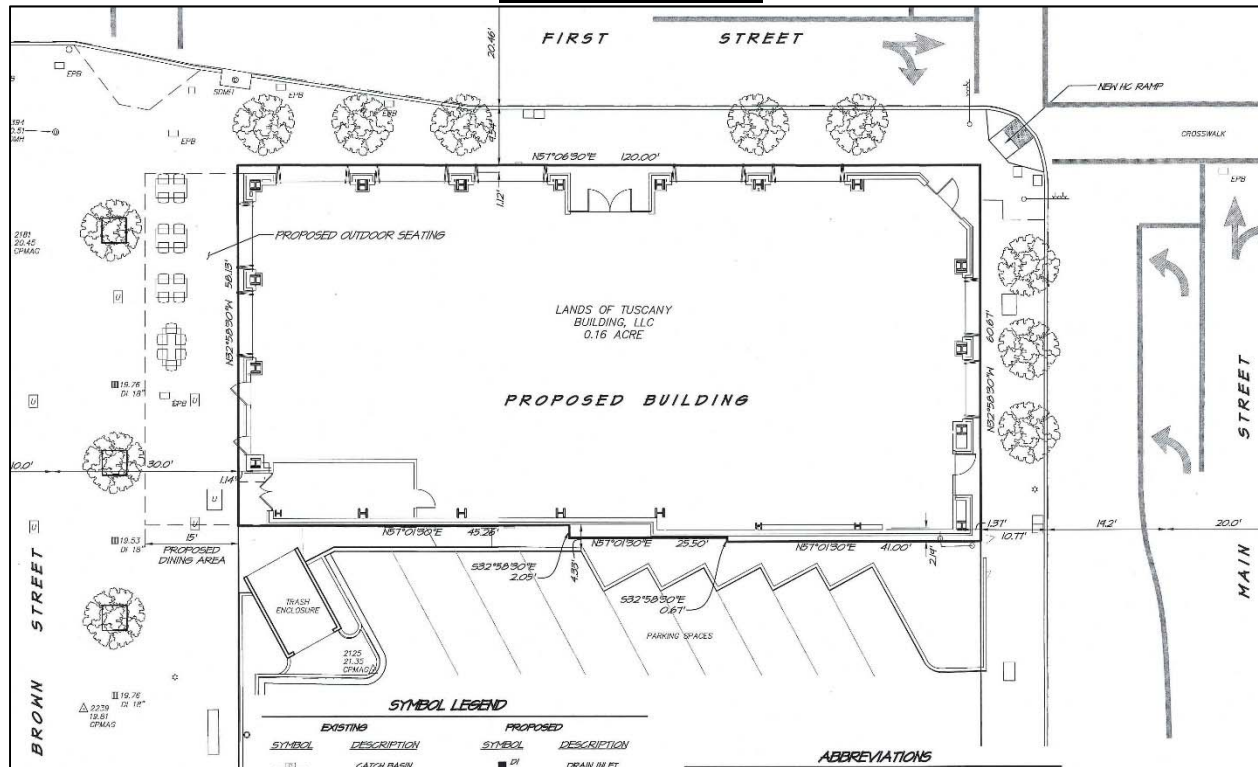
- **Basement:** A 2,415 square foot partial basement is proposed. The basement provides space for “back of houses uses,” and includes the building’s mechanical equipment, including the fire pump and storm water treatment unit, as well as employee’s restrooms and storage areas. It is not possible to include exterior biofiltration for storm water as the building occupies the entire site, which is the season for the basement biofiltration. Sumps pumps are also included in the basement given the proximity of the river and the height of the water table.
- **First Floor:** The 4,900 square foot first floor is devoted entirely to the Bounty Hunter restaurant, which will be moved from its current location at 975 First Street to the subject site. The restaurant will have a full bar. Outdoor seating is also proposed, with the outdoor seating area extending 15 feet into the 40 feet wide Brown Street plaza, leaving 25 feet clear for pedestrians to pass. A total of four tables are shown in this outdoor seating area, along with umbrellas, outdoor heaters, and lights. A separate encroachment permit will be required to implement the outdoor seating as proposed in the public right-of-way. The first floor will also contain a small, approximately 980 square foot retail component involving primarily wine sales.
- **Second, Third, and Fourth Floors:** The second, third, and fourth floors are all generally proposed for office uses. The second floor contains 4,400 square feet, the third floor 5,055 square feet, and the fourth floor 3,580 feet of leasable office space. The fourth floor includes a multi-purpose room that can be utilized as classrooms and/or conference rooms. The difference between the second and third floor in leasable area is due to the fact the second floor contains a hallway, which reduces leasable area. The fourth floor is significantly smaller than the other floors due largely to the fact that the fourth floor is stepped back from the parapet of the lower floors in an attempt to reduce the visual mass of this added fourth story.
- **Landscaping:** The building footprint occupies the entire site leaving no space to install landscaping on private property. However, the Applicant proposes to install street trees. Three trees are proposed on the Main Street frontage and two trees (one relocated) are proposed on the First Street frontage. Because of the narrow sidewalk on First Street, additional trees are not possible creating some break in tree canopy and softening of the building façade on the north elevation. However, the specific placement of the trees associated with this project is not a pattern that Staff would support being applied to other areas Downtown. In addition, landscaping will be added to the parking lot of the adjacent Wells Fargo property to help break up the mass of the building’s south elevation while enhancing the appearance of the parking lot. However, the installation of this landscaping is contingent on reaching an agreement with Wells Fargo.

- **Trash Collection:** Trash collection will be handled by receptacles located within the building on the first floor. A gate facing the Brown Street pedestrian right-of-way will be utilized by tenants who will be responsible for manually moving the receptacles outside for collection from Brown Street.

The project includes the following applications:

1. Design Review Permit for a new nonresidential structure; and
2. Sign Permit for a comprehensive sign program.

**FIGURE 1 – SITE PLAN**



As illustrated below, the building is proposed to extend to the property line on all four sides with recesses at grade or “cut outs” at the First and Main Street intersection where the main point of access is located and a second entrance mid-building on the First Street frontage. Given this placement, the building is located contiguous to City rights-of-way on First Street, Main Street, and Brown Street Pedestrian Plaza, and adjacent to the Wells Fargo Bank property line on the south elevation. This placement creates a number of complications, most notably on the Wells Fargo side of the structure, which are discussed in more detail later in this report.

#### **IV. BACKGROUND**

The Bounty Hunter Building received a preliminary review by the Planning Commission on April 25, 2016. During the meeting, the Commission provided direction to the Applicant on specific changes to consider in the project. Many of these changes involved taking steps to break up the mass of the proposed building. These proposed changes included:

1. Adding architectural elements to better define the base of the building
2. Providing deeper recesses for the windows
3. Introducing pilasters to the north façade
4. Enlarging window and street level elevations on the north façade
5. Adding pilasters and recesses to the south (Wells Fargo) elevation to break up the expanse of this building elevation.

In response to this early input from the Commission, the Applicant has made several changes to the plans including:

- Breaking up the north elevation by recessing the bay above the main dining entrance
- Adding a series of 14 faux recesses shaped like windows (windows cannot be installed on zero lot lines) to the second and third floors to the south to help provide visual relief
- Adding a cornice between and first and second floor to better define the base of the building
- Reducing the amount of metal panels used on the south building elevation in order to lessen the visual mass of the panels
- Adding exterior canopies
- Increasing the size of the basement by approximately 400 square feet
- Modifying the trash enclosure layout
- Planting (to the extent allowed) adjacent Wells Fargo parking lot.

#### **V. ANALYSIS**

##### **A. GENERAL PLAN CONSISTENCY**

The property is located within the Downtown Core Commercial (DCC) General Plan Designation, which is intended to serve as Napa’s unique shopping district, as a neighborhood hub for residences surrounding it, and as the center of the Napa community. This Designation allows for higher intensity uses within the City’s Downtown area to generate the type and level of activity the City desires. The proposed use of the project is clearly consistent with this goal. However, it is important to note that the Designation contains wording that stresses if a project is proposed at the higher intensity range in terms of Floor Area Ratio (FAR), as the Bounty Hunter Building is, that care



needs to be taken to ensure the project is compatible with the massing and character of its surroundings. This issue of project intensity and compatibility with surrounding uses is addressed in more detail in the “Design Review” section of this report

The following is a summary of the General Plan goals and policies relevant to the proposed Bounty Hunter project.

Land Use Policy LU-1.3 recognizes the importance of the City’s Downtown and the City’s need to strengthen and revitalize the Downtown. The proposed project, which develops a currently vacant site with commercial uses (restaurant and offices) furthers the achievement of this policy.

Land Use Policy LU-5.1 desires to enhance the character and viability of the City’s Downtown and provide a range of goods and services to Napa residents. The proposed restaurant along with the almost 20,000 square feet of professional office space, which will include a range of tenants that will provide services to the community, supports this Policy.

Land Use Policy LU-6.1 speaks to the importance of downtown uses orienting to the sidewalk and public spaces. The proposed Bounty Hunter building, which is placed at the sidewalk, is designed with numerous ground floor doors and windows that orient to the sidewalk and street. Outdoor seating is proposed on the public plaza adjoining the restaurant.

Housing Element Policy H1.9 emphasizes the importance of improving the City’s jobs/housing balance. The office space proposed in the Bounty Hunter Building could support as many as 50 to 75 employees depending on how the office space is utilized, which will have a small but positive effect on the City’s jobs/housing balance.

Economic Development Goal ED-3 seeks “[to] attract a diversity of retail uses throughout the city that complements and broadens the existing mix of retail uses.” The proposed development includes food service and offices. The diverse uses are consistent with this General Plan goal.

## B. DOWNTOWN SPECIFIC PLAN (DTSP) AND ZONING

The property is located within the DCC, Downtown Core Commercial Land Use District, which is intended to serve as Napa’s unique shopping district, as a neighborhood hub for residences surrounding it, and as the center of the Napa community. The proposed use is consistent with the intent of this DTSP Land Use District as it provides for an active, pedestrian-oriented use.

The Building Form (BF) Overlay District, specifically the DT-II, applies to the project site. The BF Overlay District requires compliance with Section 4.7.2 of the DTSP. The property is also located within the Parking Exempt (PE) Overlay District which requires compliance with Chapter 17.44 of the Zoning Ordinance.

The project’s consistency with the DTSP is analyzed on the following page:

## Land Uses

The Bounty Hunter restaurant and its ancillary uses is a permitted use in this DCC District, as is the proposed ancillary ground floor retail use. Professional Office uses are also permitted uses above the ground floor in DCC District.

## Development Standards

The project site is located within the DT-II Building Form Zone, which is an overlay zone that regulates and governs the basic building shapes and sizes such as height, setbacks and development intensity. The Downtown II zone allows medium to high density development designed to be complementary to the high intensity uses in the Downtown I zone. The Downtown II Building Form Zone does not require front, rear or side building setbacks. The maximum building height the City may approve is 60 feet as measured from the ground to the mid-point of a pitched roof, or to the parapet of a flat roof, however, special design features may extend beyond the height limit such as architectural elements such as steeples and towers.

The following table summarizes the project's compliance with applicable Zoning requirements:

Table 1: Consistency with Applicable Building Form Standards

<b>Standard</b>	<b>Required</b>	<b>Proposed</b>
Building Height	60 foot maximum	60 feet*
Setbacks – front/side/rear	front - 15 foot maximum side and rear – 0 feet	no setback
Minimum Lot Area	5,000 square feet	7,130 square feet
Floor Area Ratio (FAR)	4.0 maximum	3.95
Lot Coverage	100% allowed	96%
Parking	none when located within PE Overlay	none

\* approximately 61 feet including screen wall enclosing roof-mounted mechanical systems

As proposed, the project is at or very near the maximum limit of the physical property development standards that may be approved by the City for this site relating to building height and setbacks. Traditional zoning provides for these subject to discretionary permit approval, as is proposed in this case by the Applicant seeking approval from the Planning Commission. As discussed later in this report, Staff is concerned about the height of the structure relative to its surrounding context and its lack of setbacks nearer to the ground. Although the structure is not taller than the maximum allowed in the Downtown II zone (60 feet), it is significantly taller than other nearby buildings that will never be altered because of their historic resource status.

Moreover, setbacks that are generally encouraged (if not required in the DTSP) as provided in the illustrations showing a minimum five foot setback between the second and third floors of a building fronting on a public right-of-way or property line, the proposed building steps back between the third and fourth floors (six feet on the north and west elevations and 11 feet on the east elevation).

### Floor Area Ratio (FAR)

The amount and intensity of development proposed given the relatively small size of the project site is notable. The “metric” typically used to assess project intensity is the term “floor area ratio” (FAR), which is a ratio of the square footage of building as compared to the square footage of the property on which the building is located. The General Plan, DTSP, and Zoning Ordinance applicable to the proposed Bounty Hunter property allow the City to approve up to a maximum FAR of 4.0, meaning four square feet of building for every square foot of lot area. This is a high FAR comparatively speaking to buildings in the area. For example, the FARs of nearby developments include 2.65 for 1300 Main Building, 3.10 for the Wiseman Building, 3.17 for the Andaz Hotel, and 4.19 for the Archer Hotel.

### C. PARKING AND LOADING

The property is also located within the Parking Exempt (PE) Overlay District which requires compliance with Napa Municipal Code (NMC) Chapter 17.44. This Chapter requires that an in-lieu fee for required parking spaces be paid prior to issuance of a building permit. Given the proposed lot coverage, which is over 96%, there is clearly not enough space on the property to include any onsite parking nor would that be desired on an infill lot at the relative center of the downtown. Table 6.2 of the DTSP establishes parking standards for the Downtown area. Based on the formulas contained in Table 6.2 of the DTSP, namely that ground floor uses require 3.2 parking spaces per 1000 sq. ft. of floor area with other floors requiring 2.4 spaces, a total of 56 parking spaces would be required.

In terms of bicycle parking, a total of four bike racks are proposed at the pedestrian plaza.

Loading operations will be accessed from Brown Street as illustrated by the various exhibits in the enclosed plans that illustrate how trucks will be able to access the site.

### D. DESIGN REVIEW

The building design is attractive, and uses a range of quality materials consistent with those utilized throughout the Napa Valley. Stone and stone veneer is the predominant material on the three lower floors, combined with the extensive use of masonry details, including cornices and bands. The metal window frames on the first three floors are inset and have an arched shape. The fourth floor, in contrast to the lower three floors, does not utilize the stone veneer, but instead relies on the use of dark metal siding with metal framed windows in a rectangular rather than arched form. In addition, the fourth floor is stepped back three to four feet from the parapet of the third floor on three of the four building elevations. This helps to reduce the visual height and mass of the fourth floor and of the building. Unfortunately, this same sort of “stepping” of the fourth floor is not proposed on the south elevation facing the Wells Fargo property due largely to the internal floor plan of the building, including the location of the elevator and stair wells. This situation is aggravated by the absence of windows or other openings on this south elevation due to fire code constraints. The end result of these circumstances is the south elevation has a something of a monolithic appearance in contrast to the other three building elevations, which are also significant.

The same metal panels and windows are used in the construction of the building's dominant architectural feature, which is a rectangular vertical feature that extends from the second, third, and fourth floors, and projects over the first floor building "cutout" at the key First and Main Street corner. This feature architecturally ties together the disparate materials of the fourth floor with the stone and masonry of the other three floors, and effectively highlights the key First and Main Street intersection.

**FIGURE 2 – RENDERING – FIRST AND MAIN STREETS**





**FIGURE 3 – RENDERING – FIRST AND BROWN STREETS**



**FIGURE 4 – RENDERING – SECOND AND MAIN STREETS**



NMC Section 17.62.050 requires a Design Review Permit for new commercial development. The DTSP, which contains a detailed set of Design Guidelines, is the key regulatory document guiding the design and architecture of the Bounty Hunter property.

The following section assesses the proposed project's level of compliance with the relevant provisions of the Design Guidelines:

### Overarching Design Policies

The Design Guidelines in the DTSP contain eight key "Overarching Design Policies" (see Attachment 3). Based on Staff's assessment, the proposed project meets most these broad policies as noted below:

- The project fulfills the direction of Overarching Design Policy #1 by fostering a strong pedestrian environment at the street grade, given the buildings placement on the adjoining sidewalks and the use of numerous ground floor doors and glazing that support a pedestrian orientation.
- The use of stone combined with the quality of the design supports Design Policy #5, which calls for the use of quality building materials and well-designed facades to provide visual interest.
- While the building does not specifically preserve and protect historical resources as called for in Design Policy #4 since there are no historic resources on the site, the proposed use of stone reflects historic materials used on many older Napa buildings.
- The building as proposed includes sustainable development features such as large windows to allow for natural light, adjustable LED lights, and on-site stormwater treatment facilities consistent with Design Policy #7.

Based on Staff analysis, as explained below, the design of the proposed project does not comply with the following overarching DTSP policies:

- Design Policy #2 calls for a project to maintain the rhythm and scale of the downtown environment by designing buildings with articulation features and architectural features. While the building does indeed contain such features, the scale of the building given its combined height and mass, with an FAR much higher than surrounding uses, does not appear to maintain the rhythm and scale of the surrounding area as well as it could.
- Design Policy #3 calls for the use of stepbacks to reduce the impact of taller buildings on pedestrians. A graphic illustration in DTSP identifies the stepback as necessary at the second/third floors when fronting a property line or public-right-of way (although the text appears to suggest this is needed when adjacent to residential). Although the building does contain a fourth floor stepback which is a reasonable approach on the street, the stepbacks on the south elevation is quite small, as the fourth floor is stepped back by approximately just two (2) feet, which is all but lost on a building of the height and intensity proposed. Ideally, this could have been addressed in the early planning or the plan could have included a construction easement with Wells Fargo to the south to maintain an adequate separation from

any future development on the parking lot (an unlikely occurrence), thereby allowing for actual windows to be installed on the elevation to possibly bring down its scale.

### Private Realm Design Guidelines

These DTSP design guidelines (see Attachment 3) address the placement of the building on the site, the orientation to the street, building mass and scale, setbacks, structure height, façade articulation, and stepbacks. The proposed project effectively addresses the design guidelines, although there are areas of concern relating to mass and scale particularly on the sought elevation and at the transition between the third and fourth floors. Given the building's orientation to the prominent First and Main Street intersection, the extensive use of windows/doors at the street level add pedestrian interest at grade. Additionally, the use of quality materials such as the proposed stone and metal complement the surrounding historic buildings. The introduction of the corner element is also interesting and provides a modern touch to the turrets and towers at key downtown intersections on Napa's historic buildings providing building articulation and a sense of place.

AAs noted in the preceding discussion relating to the DTSP's eight "Overarching Policies," the project could more fully address concerns regarding the mass and scale (see excerpt on "Massing and Scale Guidelines and Building Height and Stepbacks" of the Design Guidelines in the DTSP). As can be seen in Table 1 of this Report, which compares the City's regulatory requirements with what is being proposed, the project is being built essentially at the upper limit on the maximum FAR the City may approve for a project (the maximum FAR is 4.0, the proposed FAR is 3.95). This FAR is much higher than the surrounding buildings, such as the Wiseman Building which has an FAR of 3.10. In addition, the height of the proposed building at 60 feet is almost twice as high as the majority of the surrounding and nearby buildings, which are generally two stories in height, with the exception of the Wiseman building at the opposite corner of the First and Main Street intersection which is three stories in height.

The FAR and building height, combined with the zero property line setback has the potential to create a building mass that may visually overwhelm the public-right-of-way at this key intersection. A sense of the total mass of the building can be appreciated when considering the proposed parapet height of the fourth floor which will be almost as tall as the tip of the pole located on top of the cupola of the historic Winship Building just across Main Street. As noted previously, the mass and scale are most pronounced on the south elevation, which is due to the fact that the fourth floor only steps back approximately two feet from the third floor, which tends to be lost on a 60-foot-high façade. Without the parking on the Wells Fargo lot, a future development could be built up against the Bounty Hunter building, which is anticipated on other properties that have been developed in the past such as the south was of the Main Street West building or the Avia (now Andaz) building. However, the likelihood that this parking lot will ever be developed given the historicity of the Well Fargo property is quite low resulting in a proposed south elevation mass that cannot be appropriately scaled. If the landscape easement were to be secured (it is necessary for construction and maintenance anyway), this could be significantly helpful in addressing this potential concern. Stepping the fourth story back from the building is also strongly recommended (see Figure 4 above, which illustrates the elevation with landscaping that currently is not secured).



The Applicant has worked hard to resolve issues identified early in the process and the project has made significant improvements since its inception. The recess on the First Street elevation and projecting entry canopy, deep set windows, cornice elements all provide detail that accentuate the building providing visual interest and quality. The vertical banners are also a touch that adds character to this special building that is also unique to other newer interesting buildings in the downtown providing variety and diversity of the streetscape. However, this issue of building mass on the south elevation and at the transition of the third and fourth floors resulting from maximizing the development standards warrants careful Commission consideration.

A solution to the issue likely lies in some reduction in the size of the structure proposed if the landscape easement cannot be secured and the fourth floor cannot be further stepped back on the south side of the building. Additionally, although not specifically described earlier in the report, there is an equipment enclosure on the top of the building that will be visible from the right-of-way providing more accentuated height to the building. Ideally, as the quality of building design in Napa continues to evolve and improve these elements can be addressed in different ways, such as inseting the equipment in recessed wells or lengthening parapets. Rooftop enclosures frequently become an afterthought yet they have very real visual impacts on the overall aesthetic of a new building.

Staff requests that the Commission further consider this issue of building mass and scale relative to the property's surroundings and context, and determine if Commissioners have a similar concern and if so to what degree warrants a recommendation for revisions. Options include general support for the project with focused study on the few issues identified here in the report, the provision of more graphic information on this question than what is currently available if the issue remains uncertain, installing "story poles" on the site could prove to be a useful tool given the circumstances, or other similar approaches. If the Commission is comfortable with the design and mass as proposed then no additional information will be necessary, and to facilitate the Commission's action the required findings and conditions have been included in this report should the Commission decide to approve the project as submitted.

### Historic Resources Design Guidelines

There are no historic elements on the project site, although the proposed design clearly introduces elements that provide a link back to Napa's history with the general architectural style and use of materials. Early on in the process, the project offered this style as a reflection of the Napa Valley history and referenced style and materials reflective of a "ghost winery" that would be found in historically agrarian places. The Borreo building located across the Napa River provides some of the same basic building elements as the proposed Bounty Hunter building, albeit its size is significantly lower in height and the scale is different for each given this height. Moreover, the Borreo building is not on the street at zero property line setback which presents a different context.

### Public Realm Design Guidelines

Although the project itself includes very limited public improvements (some new street tree in tree wells are proposed), the orientation of the project with its fenestration and entry points on the street are consistent with the design elements included in this section. An example of this is the fact that the project design mirrors almost exactly a graphic contained

in the plan (Figure 5.4 of the DTSP) that depicts the preferred orientation of a building to the street.

### Parking and Circulation Design Guidelines

No parking is proposed as part of this project since it is located in the PE District. As noted previously, the Applicant will be required to pay an in-lieu fee to offset the amount of parking demand generated by the project (56 parking spaces) after taking into consideration any credits for square footage previously existing on the site and demolished (and its associated parking demand).

### Lighting

Project lighting consists of building mounted lighting. No free-standing lighting is proposed. A series of small building mounted lights reflective of the historic “gas powered lamps” are located approximately eight feet above the sidewalk along both street frontages and the Brown Street Pedestrian Plaza. Staff believes that the pedestrian scale building mounted lighting is consistent with what is called for in the Specific Plan.

## E. SIGNS

Pursuant to NMC Section 15.56.150, a comprehensive sign program is required for new multi-tenant commercial developments, and is intended to provide sign continuity for all tenants within the development. While Staff typically approves sign changes or new individual signs, Sign Permit applications are forwarded to the Commission for consideration in a new building.

The following signs are proposed:

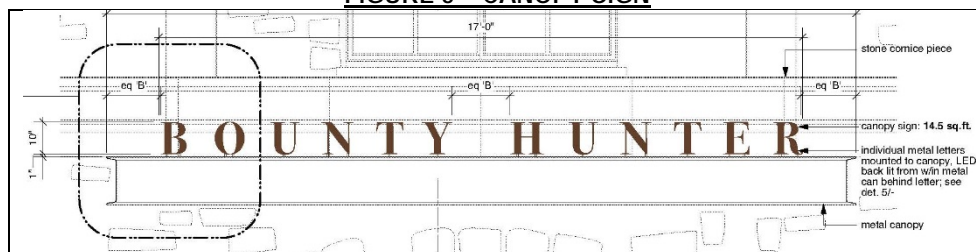
- i. Banner Signs: Three 19-foot-long and three-foot wide vertical banner signs with the name “Bounty Hunter” are proposed on the First Street and Main Street elevations, with two banner signs on the First Street elevation and a single banner sign on the Main Street elevation.
- ii. Wall Sign: A single metal plaque wall sign is proposed on the First Street elevation near the building entry at the main entry to the building. Six-inch tall individual internally illuminated letters spelling “Bounty Hunter” are proposed above the building mounted plaque sign.
- iii. Horizontal Canopy Sign: A canopy sign is proposed to be placed over an awning located over the mid-building entry on the First Street elevation. This sign consists of 10-inch tall backlit individual letters spelling “Bounty Hunter.”

No signage is proposed for the office tenants who will rely on the proposed building identification signage to identify their location. Staff believes the size, design and location of the signage as proposed is consistent with the DTSP, Sign Ordinance and sign guidelines contained in the Soscil Corridor / Downtown Riverfront Development & Design Guidelines (see Attachment 4), all of which guide City review of new signs and comprehensive sign programs.

To ensure consistency with these requirements and guidelines, Staff has provided in the attached resolution the following conditions of approval if the Commission approves the project as submitted:

- The raceway, transformer, power supply, and/or any other related equipment and/or devices shall be mounted behind the exterior wall and shall not be exposed.
- The blade signs shall be mounted a minimum of eight feet over the sidewalk.

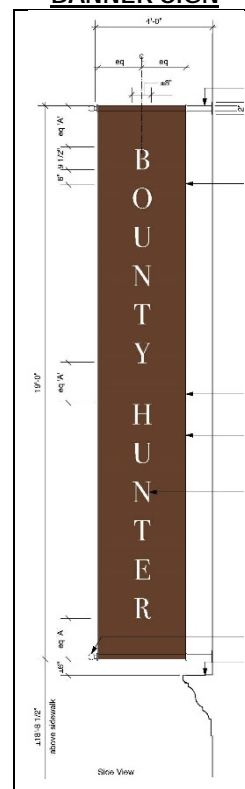
**FIGURE 5 – CANOPY SIGN**



**FIGURE 6 – WALL SIGN**



**FIGURE 7 –  
BANNER SIGN**



## F. OUTDOOR DINING

Outdoor dining within the public right-of-way may be established with approval of an Outdoor Dining Permit and an Encroachment Permit, pursuant to NMC Chapter 12.64. As generally conceived, five tables with four seats per table are proposed along the Brown Street Pedestrian Plaza. The plans are not sufficiently developed at this early stage to determine the full scope of the proposal, however (e.g., type and style of the tables/chairs, plan for enclosure to comply with City and ABC requirements, and appurtenances such as umbrellas, heaters, etc.). Additionally, it is important to fully consider the implications of how far the outdoor dining would project into the passageway which serves essentially as a sidewalk for passerby. Outdoor seating is important to the fabric of an active and vibrant downtown. However, in instances where the seating includes multiple rows of tables in a constrained environment, the space becomes less comfortable for people to walk. This has become increasingly evident in some downtown outdoor locations where people walking on the sidewalk have to navigate around enclosed seating. As a result of additional information that will be needed to further study this proposal, a future permit will be

considered by the City for the outdoor seating plan and the seating is not specifically included as part of this entitlement if the Commission approves the project, excepting that the seating is encouraged.

#### **G. PUBLIC ART**

No public art has been proposed as part of this project. The inclusion of public art would be appropriate given the building's location at the key First and Main Street intersection. Unfortunately, because the infill building is designed to its property lines there are few opportunities for art at grade (there are building recesses that may be opportunities for art). However, perhaps the building itself provides opportunities for the application of public art. A condition has been added to the draft resolution to requiring the applicant to either pay an in-lieu art contribution as required by ordinance or to submit an art plan for future Commission consideration.

#### **H. SOUTH BUILDING ACCESS**

As noted previously in this report, the south elevation of the building is proposed to be constructed on the property line between the project site and the Wells Fargo property. In order to build and maintain the project as proposed, the Applicant will need to secure authorization from the adjoining property owner for future right-of-entry for construction and maintenance purposes. The Applicant has been working with Wells Fargo over the last several months to negotiate this agreement. As part of this negotiation process, the Applicant is also proposing to augment and enhance the landscaping within the parking lot which will help the aesthetic of both the Wells Fargo property and provide benefit to the Bounty Hunter property relative to the afore-reference mass and scale considerations on this south elevation (notwithstanding the recommendation to also set the fourth story back from the third and address the visible roof equipment enclosure). Without authorization from Wells Fargo, the Applicant may not be able to place the building on the south property line resulting in significant changes to the plan or a creative solution will need to be developed to address this access issue. A condition has been included in the draft resolution to address this issue.

### **VI. ENVIRONMENTAL REVIEW**

Staff recommends that the Planning Commission determine that the Project is exempt from the requirements of CEQA pursuant to Sections 15311 and 15332 of the CEQA Guidelines (Categorical Exemptions; Class 11 and 32), which exempts on-premises signs and infill development projects.

### **VII. REQUIRED FINDINGS**

The Planning Commission's decision regarding this project is subject to the required findings established in NMC Section 17.62.080 relating to the Design Review Permits and NMC Section 15.56.170 relating to Sign Permits. These findings are provided in the draft resolution attached to this Staff Report.

## **VIII. PUBLIC NOTICE**

Notice that this application was received was provided by the City on August 24, 2016, and notice of the scheduled public hearing was provided on May 31, 2017, by US Postal Service to all property owners within a 500-foot radius of the subject property. Notice of the public hearing was also published in the Napa Valley Register on June 2, 2017 and provided to people previously requesting notice on the matter at the same time notice was provided to the newspaper for publication. The Applicant was also provided a copy of this report and the associated attachments in advance of the public hearing on the project.

## **IX. STAFF RECOMMENDATION**

The proposed project presents an outstanding example of high quality design using quality materials and design elements integral and consistent with the style of architecture proposed. The corner element above the primary entrance is unique and somewhat mirrors a similar element located across the street on the historic building and has been implemented with varying levels of success on corners of newer buildings elsewhere in the downtown.

The one area of concern relating to the project, which is particularly important given its prominent location at First and Main Street, and the context of the surroundings, is the mass and scale of the building on its south elevation and the transition between the third and fourth floors. Staff believes there is insufficient setback of the upper floor thereby accentuating the building mass and scale.

If the Planning Commission supports the revised design as submitted without revisions, Staff recommends the Commission approve the Design Review Permit and Sign Permit subject to the attached resolution.

## **X. ALTERNATIVES TO RECOMMENDATION**

1. Continue the application with direction for modifications and allow the Applicant an opportunity to prepare a revised design.
2. Direct Staff to return to the Planning Commission with a resolution document including findings from the record of the hearing to support denial of the proposed project.

## **XI. REQUIRED ACTIONS**

Final actions by the Planning Commission:

1. Adopt a resolution approving a Design Review Permit for a new non-residential building and Sign Permit for a comprehensive sign program for the Bounty Hunter Building at 1005 and 1025 First Street.

## **XII. DOCUMENTS ATTACHED**

1. Draft Resolution
2. Project Description and Plans
3. Overarching design guideline policies and private realm design guidelines from the DTSP
4. Sign guidelines from the Soscol Corridor / Downtown Riverfront Development & Design Guidelines





RESOLUTION NO. PC2017-\_\_

RESOLUTION OF THE PLANNING COMMISSION OF THE  
CITY OF NAPA, STATE OF CALIFORNIA, APPROVING A  
DESIGN REVIEW PERMIT FOR A NEW NON-RESIDENTIAL  
BUILDING AND A SIGN PERMIT FOR A COMPREHENSIVE  
SIGN PROGRAM FOR THE BOUNTY HUNTER BUILDING  
AT 1005 AND 1025 FIRST STREET

WHEREAS, Taylor Lombardo Architects submitted an application (File No. PL16-0126) on behalf of the property owner for a Design Review Permit for a new non-residential building and a Sign Permit for a comprehensive sign program (the "Project") at 1005 and 1025 First Street (APNs 003-221-001 and -002) on August 24, 2016; and

WHEREAS, the Planning Commission held a noticed public hearing on June 15, 2017 on the subject application.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Napa as follows:

Section 1. The Planning Commission hereby determines that the Project is exempt from the requirements of CEQA pursuant to Sections 15311 and 15332 of the CEQA Guidelines (Categorical Exemptions; Class 11 and 32) which exempts on-premise signs and infill development projects.

Section 2. The Planning Commission hereby approves the Design Review Permit as defined on the plans submitted as a part of the subject application and makes the following findings in support of the approval:

- A. *The proposed use is in accord with the General Plan and any applicable Specific Plan design policies.*

The property is located within the DCC, Downtown Commercial General Plan Designation, which is intended to serve as Napa's unique shopping district, as a neighborhood hub for residences surrounding it, and as the center of the Napa community. This Designation allows for higher intensity uses within the City's Downtown area to generate the type and level of activity the City desires and the proposal is consistent with this Designation and is supported by the following General Plan policies.

Land Use Policy LU-1.3 recognizes the importance of the City's Downtown and the City's need to strengthen and revitalize the Downtown. The proposed project, which develops a currently vacant site with commercial uses (restaurant and offices) furthers the achievement of this policy.

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Land Use Policy LU-5.1 desires to enhance the character and viability of the City's Downtown and provide a range of goods and services to Napa residents. The proposed restaurant along with the almost 20,000 square feet of professional office space, which will include a range of tenants that will provide services to the community, supports this Policy.

Land Use Policy LU-6.1 speaks to the importance of downtown uses orienting to the sidewalk and public spaces. The proposed Bounty Hunter building, which is placed at the sidewalk, is designed with numerous ground floor doors and windows that orient to the sidewalk and street. Outdoor seating is proposed on the public plaza adjoining the restaurant.

Housing Element Policy H1.9 emphasizes the importance of improving the City's jobs/housing balance. The office space proposed in the Bounty Hunter Building could support as many as 50 to 75 employees depending on how the office space is utilized, which will have a small but positive effect on the City's jobs/housing balance.

Economic Development Goal ED-3 seeks "[to] attract a diversity of retail uses throughout the city that complements and broadens the existing mix of retail uses." The proposed development includes food service and offices. The diverse uses are consistent with this General Plan goal.

The property is located within the DCC, Downtown Core Commercial Land Use District, which is intended to serve as Napa's unique shopping district, as a neighborhood hub for residences surrounding it, and as the center of the Napa community. The proposed use is consistent with the intent of this DTSP Land Use District as it provides for an active, pedestrian-oriented use. The project's consistency with the DTSP is analyzed below:

The project fulfills the direction of Overarching Design Policy #1 by fostering a strong pedestrian environment at the street grade, given the buildings placement on the adjoining sidewalks and the use of numerous ground floor doors and glazing that support a pedestrian orientation.

The use of stone combined with the quality of the design supports Design Policy #5, which calls for the use of quality building materials and well-designed facades to provide visual interest.

While the building does not specifically preserve and protect historical resources as called for in Design Policy #4 since there are no historic resources on the site, the proposed use of stone reflects historic materials used on many older Napa buildings.

The building as proposed includes sustainable development features such as large windows to allow for natural light, adjustable LED lights, and on-site stormwater treatment facilities consistent with Design Policy #7.

- B. *The project design is consistent with applicable Design Review guidelines adopted by the City Council.*

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- C. *The Design Review Permit is in accord with provisions of this Title and will not be detrimental or injurious to property or improvements in the vicinity of the development site, or to the public health, safety, or general welfare.*

New buildings may be authorized with Design Review Permit approval. The Design Review Permit of the proposed project will be in compliance with the provisions of the Zoning Ordinance. The project has been appropriately conditioned to ensure compliance with General Plan policies and property development standards and will not result in adverse impacts to adjacent properties or to the general health, safety, and welfare of the community. These include provisions for adequate stormwater treatment, adequate waste removal services, permissions for access over adjacent properties, and limitations on noise associated with construction activities.

Section 3. The Planning Commission hereby approves the Sign Permit as defined on the plans submitted as a part of the subject application and makes the following findings in support of the approval:

- A. *The proposed sign meets the requirements of the Sign Ordinance and any special conditions imposed on the development.*

Pursuant to NMC Section 15.56.150, a comprehensive sign program is required for multi-tenant commercial developments, and is intended to provide sign continuity for all tenants within the development. The proposed signs are consistent with the Sign Ordinance which seeks to reduce visual clutter, provide adequate identification and information, and preserve the character and quality of the environment while achieving aesthetic harmony for the community. The signs will provide business identification to assist with way-finding for pedestrians, bicyclist, and people in vehicles.

- B. *The proposed sign's color and illumination are not in conflict with the safe flow of traffic on the city streets.*

The proposed signs are mounted against the building and are not located in an area that would present a conflict for the free flow of traffic. The signs are internally illuminated and will not cause glare on the streets.

- C. *The proposed sign is compatible with the architecture of the building it identifies and is not incompatible with the aesthetic character of the surrounding development and neighborhood.*

The proposed signs are compatible with the design of the existing building. The signs are appropriately sized for the building and will not be overbearing in scale.

Section 4. The Planning Commission approval of the Design Review Permit and Sign Permit is subject to the following conditions:

### Community Development Department – Planning Division

1. The Planning Manager is authorized to determine whether the Applicant is in compliance with the requirements of the Design Review Permit and Sign Permit.
2. The comprehensive sign program shall be revised as follows and shall be submitted to the Planning Division as a PDF file within 60 days of the effective date of this approval, or prior to the issuance of a Sign Plan Check for any new signage for the building, whichever shall occur first:
  - a. State that the raceway, transformer, power supply, and/or any other related equipment and/or devices shall be mounted behind the exterior wall and shall not be exposed.
  - b. State that window graphics shall not cover more than 25% of any window.
  - c. State that the lamps for the signs be directed downward and onto the face of the sign to reduce glare conditions that may impact adjacent properties or public streets.

- d. State that no banner signs for business transitions may be installed without approval of a Special Event Sign Permit.
  - e. State that consistent with the City's Sign Ordinance, no portable (e.g. A-frame, portable, rotating, flashing, animated, moving or having the appearance of moving, inflatable) signs are permitted.
3. Should the Planning Manager determine that the signs cause a nuisance, this application may be reviewed for consideration of new conditions of approval, modified conditions of approval, or if necessary, revocation of the permit consistent with Chapter 17.72 of the Napa Municipal Code.
4. The plans submitted for Building Permit for exterior divided-light windows shall be one of the following choices or a combination of the following choices:
- a. True divided-light window with individual panes of glass separated by mullions; and/or
  - b. Simulated divided-light window with the grilles resembling mullions applied to the exterior of the window.
5. All conditions of approval shall be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of Building Permits (architectural, structural, electrical, mechanical and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12 point.
6. All exterior lighting on the site shall be properly shielded and directed downward to preclude glare conditions that might impact adjacent properties or public streets.
7. The plans submitted for Building Permit shall identify the locations of all mechanical and utility equipment, including transformers and backflow devices.
8. All mechanical and utility equipment, including transformers and backflow devices must be screened and/or integrated into a building structure. Screens shall not be used where they would disproportionately increase the mass of the building or introduce elements that are inconsistent with the high level of design quality reviewed as part of this approval. Because transformers and backflow prevention devices are regularly maintained and tested, screening is required to meet certain criteria for the accessibility and visibility. Landscaping and screening of devices must be installed prior to issuance of a Certificate of Occupancy for the Project.
9. Construction activities shall be limited to specific times pursuant to NMC 8.08.025 which limits construction activities to 7:00 a.m. to 7:00 p.m. Monday through Friday and 8:00 a.m. to 4:00 p.m. on weekends or legal holidays, unless a permit is first secured from the City Manager (or his/her designee) for additional hours. Extended

construction hours will be needed to accommodate construction activities on the south, Wells Fargo building elevation, and to accommodate landscape improvements on the Wells Fargo property. The Ordinance further states that there will be: no start-up of machines nor equipment prior to 8:00 a.m., Monday through Friday; no delivery of materials nor equipment prior to 7:30 a.m. nor past 5:00 p.m., Monday through Friday; and no servicing of equipment past 6:45 p.m., Monday through Friday.

10. Developer shall pay the required Affordable Housing Impact fee in accordance with Napa Municipal Code Section 15.94.030. Such fee shall be payable at the rate in effect at the time of payment for the Project involved. In accordance with Municipal Code Section 15.94.030, the Developer may request approval to provide an alternative equivalent to payment of the fee. The findings set forth in Resolution R2016-69 are incorporated herein. The City further finds that calculation of the fee pursuant to the formula set forth therein demonstrates that there is a reasonable relationship between the fees imposed and the cost of improvements attributable to this Project.
11. Prior to issuance of a Building Permit, the Applicant shall secure a Design Review Permit approval for Public Art located on the site. In the event the application for public art lags behind the issuance of Building Permit the Applicant shall be required to pay the full amount of the public art contribution as required by ordinance. The Applicant may seek reimbursement of the fee credits if the public art is approved and installed prior to the issuance of a Certificate of Occupancy of a building permit. Alternatively, the Applicant may pay the in-lie fee and not pursue a Design Review Permit, as also provided for by ordinance.
12. Entertainment uses (such as live music) are subject to the regulations established in Table 4.2 of the Downtown Specific Plan.
13. An application shall be filed for a permit for the outdoor seating as depicted on the project plans. The permit process will determine the precise boundaries of the outdoor seating area, the amount and location of all tables and chairs, along with the location of any ancillary equipment such as lighting, heaters, rope barriers, etc. Authorization to place outdoor seating and related facilities is contingent on the issuance of a required encroachment permit by the City in addition to any other permits.
14. Prior to issuance of building permits for any increment of the project, the Applicant shall provide required documentation as specified by the City, verifying that the owner(s) of the project site have secured to the satisfaction of the City a binding legal agreement with the owners of the adjacent Wells Fargo Bank property that grants the owners of the project site the legal right to construct and maintain the project as approved by the City, which agreement shall be subject to review by the Community Development Director and approval as to form by the City Attorney..

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No building permit shall be issued for the project unless and until the required documentation has been submitted to the City's satisfaction.

15. These entitlements shall be valid for a period of two years following the expiration of the appeal period on the Planning Commission action. In order to avoid expiration of the entitlements, a Building Permit shall be issued prior to the expiration date. The Applicant may also apply for the discretionary approval of an extension of the entitlements prior to the initial two-year expiration.

### Fire Department

16. In accordance with the Standard Mitigation Measures and conditions of approval set forth in the City of Napa Policy Resolution 27, and the Standard Fees and Charges (Policy Resolution 16), the developer shall pay the Fire and Paramedic Impact Fee prior to the issuance of any building permits.
17. Fire Department plan review shall be based on the information submitted at the time of permit application.
18. All projects shall provide adequate fire flow in accordance with Appendix B and C of the California Fire Code.
19. Automatic fire sprinkler systems shall be installed in accordance with provisions set forth in the California Fire Code as amended by the City of Napa and the applicable National Fire Protection Association Standard.
20. In new construction, fire protection equipment should be located within an interior room having exterior access or in an exterior enclosure attached to the building, specifically for the purpose of housing such equipment.
21. Plans and calculations for all fire protection systems and features shall be submitted and approved prior to the issuance of a building permit.
22. Fire Department connections shall be located not more than 100 ft from the nearest fire hydrant connected to an approved water supply.
23. Underground utility contractor, architect and fire sprinkler contractor shall coordinate location of risers and control valves prior to the issuance of a building permit.
24. Plans for the building fire alarm system or water sprinkler monitoring system (as required) shall be submitted and approved prior to the issuance of a building permit.
25. New buildings and additions to existing buildings shall conform to requirements set forth in the currently adopted editions of the California Building Code, California Fire Code, adopted City Standards and nationally recognized standards.



### Public Works Department

26. Approval of this project shall be subject to the requirements of (and all improvements shall be constructed in accordance with) the Napa Municipal Code, the Public Works Department Standard Specifications and Standard Plans, and the City's "Post-Construction Storm Water Pollution Prevention Design Standards".
27. The Applicant shall construct all on and offsite improvements in accordance with improvement plans and supporting calculations that are prepared by a registered civil engineer and reviewed and approved by the City of Napa Public Works Department (PW) Development Engineering Division. The improvement plans shall be prepared in conformance with the plans prepared by RSA+ dated 02.21.17 (received April 14, 2017) as modified herein by these Conditions of Approval. The improvement plans and supporting calculations shall include detailed designs for all utilities, water, grading, drainage, erosion control, stormwater, and paving. The plans and calculations must be approved by the City Engineer prior to the issuance of the building permit.
28. The improvement plans shall be prepared in accordance with (and submittals shall be accompanied by) the "Initial Submittal Checklist" and the "Improvement Plan Checklist". The checklists are available on the City of Napa Website ([www.cityofnapa.org](http://www.cityofnapa.org)) under the Public Works Department Development Engineering Division Forms and Handouts menu. The Applicant shall pay a \$3,500 initial cash deposit for city plan check services.
29. IMPROVEMENT PLANS – The following items shall be shown on the improvement plans prior to approval of the plans:
  - a. First Street Frontage: The Applicant shall design and reconstruct to their original condition all the frontage improvements that are demolished/removed and or damaged along the southern side of First Street from Brown Street (pedestrian plaza) to Main Street to be consistent with the First Street Streetscape Improvement Project.
  - b. Main Street Frontage: The frontage improvements along the western side of Main Street from the Wells Fargo parking lot driveway to First Street along the project frontage shall be consistent with the First Street Streetscape Improvement Project or subject to be consistent with the Main Street improvements. The final design and location of all frontage improvements design shall be subject to the approval of the Public Works Director.
  - c. Brown Street (Plaza) Frontage: The Applicant shall design and reconstruct all the frontage improvements that are demolished/removed and damaged along Brown Street to be consistent with the existing improvements and or replace with 2'x2' squares in concrete. The final design of these improvements and or repairs shall be subject to the approval of the Public Works Director.

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- d. All required public frontage and street improvements shall be designed and built in accordance with the improvements stated above, the City of Napa ordinances and the Public Works Department Standard Specifications. Street improvements shall include curbs, gutter, standard sidewalk, street paving, street lights, drainage facilities, and street trees. Final design and location of public frontage improvements shall be subject to the approval of the Public Works Director.
- e. Any additional right-of-way necessary to accommodate these improvements shall be dedicated to the City prior to improvement plan approval.
- f. Curb, gutter, standard sidewalk, street paving, street lights, driveway approaches, drainage facilities, barricades and street trees shall be installed on the Development's public street frontage where required.
- g. The Applicant shall provide red curbs along both First and Main Street the entire length of the property.
- h. All existing curb return pedestrian ramps and driveway approaches located on the Project's frontage that do not meet current ADA and City Public Works Standards shall be removed and replaced with ramps conforming to the current ADA and City Public Works Standards.
- i. All public street pavements structural section installations shall include a minimum of 3 inches of Asphalt Concrete over 15 inches of Class 2 Aggregate Base material.
- j. The sight distance and visibility triangle lines shall be shown on the grading and drainage plans. The visibility height limits are measured from the top of curb of the fronting street to the top elevation of the obstruction.
- k. The Applicant shall provide an accessible route of travel from the fronting sidewalk to the buildings. The site development and grading shall be designed to provide access to all entrances and exterior ground floor exits, and access to normal paths of travel, and where necessary to provide access, shall incorporate pedestrian ramps, curb ramps, etc. The accessible route of travel shall be the most practical direct route between accessible building entrances, accessible site facilities and the accessible entrance to the site per UBC 1127B. All proposed accessible routes of travel shall be identified on the improvement plans.
- l. The improvement plans shall include an Erosion Control Plan.
- m. The improvement plans shall include a Joint Trench Plan.

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- n. The improvement plans shall include a Construction Traffic Control Plan that must be approved by the City prior to initiation of construction.
- o. The improvement plans shall include a Public Street Repair Plan (showing the repair details and limits of repair) for all improvement installations that will result in the cutting, demolition, destruction, etc. of any existing improvements within the public right of way including but not limited to the installation of curb, gutter, sidewalk, utilities (water, sewer, storm drain, electrical, cable TV, telephone, etc.). This plan shall be updated during the construction process as necessary to reflect any unanticipated street repairs. Associated with said plan are the following requirements:
  - (1) The Applicant shall resurface the existing street pavement from curb to curb whenever a street is cut, either by a longitudinal or transverse cut, for utility or other improvement installations. The resurfacing shall extend a sufficient distance beyond any cut to ensure a smooth transition and shall consist of either a 2-inch asphalt concrete overlay, or geotextile material with a minimum 2-inch asphalt concrete overlay, depending upon the extent of the proposed pavement cuts and the condition of the existing pavement section, as determined by the City Engineer. Developer shall also provide digouts and reconstruction of any potholed and/or alligatored areas. Installation of street paving by the Applicant shall include reconstruction of the existing pavement section as required to provide adequate conforms. The limits of such reconstruction shall be reviewed by the Public Works Department Development Engineering Division and approved by the City Engineer as part of the construction plan review.
  - (2) The Applicant shall repair all pavement, curb, gutter and sidewalk that are damaged by the construction process in accordance with The Public Works Department Standard Specifications and Standard Plans.
  - (3) Any unanticipated street cuts or other street repair items that become evident following improvement plan approval shall be included by way of revisions to the Street Repair Plan.
- p. For trenching within existing roadway areas, the Applicant's engineer shall ascertain the location of all underground utility systems and shall design any proposed subsurface utility extensions to avoid disrupting the services of such systems.
- q. The Applicant is responsible for all coordination with utility companies and the design of all utility service installations that are required to serve the project, including utility layout, design and costs associated with any necessary facilities upgrades, revisions, relocations and/or extensions. The Applicant

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shall relocate or underground any overhead utilities that conflict with the new improvements.

- r. Contact the City of Napa Fire Department to determine fire sprinkler requirements.
30. ON-SITE ACCESS AND CIRCULATION - The following items related to on-site access and circulation shall be shown on the improvement plans prior to approval of the plans:
- a. All curb frontage intended for no parking shall be painted red and posted with signs (R26F - No Stopping Fire Lane).
31. DRAINAGE AND GRADING - The following items related to grading and drainage shall be shown on the improvement plans prior to approval of the plans:
- a. If applicable the Applicant shall replace any existing non-standard drainage inlets, such as Type S-110, with a City Standard drainage inlet, such as Type D-2.
  - b. The grading plans provided by the Applicant for review shall include the existing topography shown with contour line labeled at one foot intervals and extending a minimum of 100-feet beyond the limits of the site, or a sufficient distance to indicate impacts on adjacent properties.
  - c. On-site storm drains, outside of City right-of-way, shall be made of SDR-35 plastic or reinforced concrete pipe.
  - d. Any retaining walls which are greater than one foot in height, which are adjacent to a property line, shall be masonry or concrete. Wood retaining walls shall not be installed adjacent to property lines.
  - e. Applicant shall provide an Erosion and Sediment Control Plan (ESCP) and a schedule for implementation of approved measures to the Public Works Department Development Engineering Division for review and approval with the first improvement plans submitted for review. A grading permit shall not be issued until the erosion and sediment control plan is approved.
  - f. The roof drainage and downspouts from the building shall not be allowed to discharge into the adjacent property in the back (Wells Fargo property), and the gutter downspouts and drainage need to be directed away from the adjacent property line.
  - g. In plan sheet DR3 Section D-D and Section E-E show "ADD FILL AND DRAIN AWAY FROM NEW BLDG". Grading behind the building is designed to cause drainage to drain into adjacent property which requires the Applicant to get an

easement to allow such drainage to occur. If that is not the intent then all drainage must be collected and conveyed to a public street, storm drain, or approved outfall.

- h. CONSTRUCTION WATER QUALITY MEASURES – In accordance with the NPDES Construction General Permit, the property owner shall insure that the Applicant and the contractor incorporate storm water quality Best Management Practices (BMP's) into the project construction process.
  - (1) Projects < 1 acre: Provide an Erosion and Sediment Control Plan (ESCP) See ESCP template at: [http://www.cityofnapa.org/images/publicworks/BUD/escp\\_reviewprocjun2014.pdf](http://www.cityofnapa.org/images/publicworks/BUD/escp_reviewprocjun2014.pdf).
  - (2) The construction BMP's shall be shown on the project Erosion and Sediment Control Plan (ESCP).
  - (3) The project property owner shall insure that the contractor manages all construction activities; and handles, stores and disposes of all hazardous and non-hazardous waste in a manner that eliminates or minimizes (to the maximum extent practicable) the discharge of pollutants (e.g. motor oil, fuels, paints/stains and solvents, asphalt products, concrete, herbicides and pesticides, etc.) to the storm drains, ground water, and/or waterways
  - (4) The project property owner shall insure that the contractor incorporates spill prevention and cleanup measures into the construction operation. All discarded materials shall be removed from the site and disposed of at an approved disposal facility.
  - (5) The project property owner shall pay all cleanup, testing, disposal and City administrative costs associated with the discharge of pollutants into the storm drains and/or waterways as a result of the project construction activity.
- i. POST CONSTRUCTION WATER QUALITY MEASURES - In accordance with the City of Napa, "BASMAA Post-Construction Manual prepared by the Bay Area Stormwater Management Agencies Associated (BASMAA) Phase II Committee, dated July 14, 2014" the Applicant shall incorporate post Development measures (BEST MANAGEMENT PRACTICES (BMP'S)) into the project design to mitigate project impacts to water quality. [http://www.cityofnapa.org/images/publicworks/Stormwater/BAMSAA\\_PostCon\\_Manual.pdf](http://www.cityofnapa.org/images/publicworks/Stormwater/BAMSAA_PostCon_Manual.pdf) Under "Documents"
  - (1) The post-construction BMP's shall be shown on the project improvement plans and in the required Storm Water Control Plan (SCP).

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- (2) All designated projects – The Applicant shall prepare and submit a SCP per “BASMAA Post-Construction Manual, dated July 14, 2014,” standards and an Erosion and Sediment Control Plan.
  - (3) The Landscape plans shall be submitted to the Development Engineering Division with the submittal of the Improvement Plans. Landscape Plans shall illustrate all LID post construction measures and include the required plant species as specified in the BASMAA Post-Construction Manual.
  - (4) The post construction BMP measures shall be installed by the Applicant and designed and sized by a registered civil engineer in accordance with the City’s adopted BASMAA Post-Construction Manual and an accepted design method such as that which is outlined in the “California Storm Water Quality Association BMP (CASQA-BMP) Handbook”. The design and calculations are to be reviewed and approved by the Development Engineering Division.
  - (5) The project post-construction BMP’s shall include but not be limited to the applicable items listed in the City Council adopted Stormwater Quality Control Standards, BASMAA Post-Construction Manual and accepted design review Stormwater Control Plan prepared by RSA+ dated February 21, 2017 and accepted March 14, 2017.
- j. The Applicant shall submit storm drain system design calculations that are prepared by a registered civil engineer for review and approval by the Development Engineering Division. Storm drain system design flows shall be calculated based on the requirements listed in the City of Napa Public Works Department Standard Specifications and Standard Plans. The calculations shall include a drainage basin map showing basin limits and area in acres, hydrology, and system hydraulic calculations, pipe size calculations, inlet capacity calculations, stormwater quality treatment and other information necessary to support the proposed design. Storm drains will be sized to carry the flows generated by the design storm per City of Napa Standards. The storm drain system design calculations shall show that the pipes have a self-cleaning minimum velocity of three feet (3’) per second when flowing half full.
  - k. Install drainage facilities, including detention pipe(s), metering boxes, and other appurtenances to collect and convey all surface drainage to an approved outfall.
  - l. Low Impact Development (LID), Bio-retention areas, underground treatment systems, and all other treatment based BMP systems are to be sized in accordance with calculations that conform to the City’s BASMAA Post-Construction Manual dated July 14, 2014 and the State MS4 General Permit

E.12 provisions and are to be reviewed and approved by the Development Engineering Division.

- m. The property owner shall enter into a long-term maintenance agreement with the City of Napa approved both as to form and substance by the City Attorney and City Engineer for long term maintenance, financing and monitoring for the post construction storm water best management practices that are incorporated as part of the project and as called out in the Approved Stormwater Control Plan.
  - (1) The agreement shall include a detailed outline of responsible parties, inspections, maintenance procedures, monitoring documentation and annual reporting to the City Public Works Department, and procedures for administration and oversight.
  - (2) The agreement shall be recorded prior to approval of the Improvement Plans. The agreement must provide for the perpetual maintenance and replacement of the improvement as well as appropriate provisions relating to enforcement options, the right of the City to access the property to perform work, the right of the City to recover its costs, indemnification and enforcement provisions, as well as any other provisions deemed necessary or convenient to accomplish the City's objectives. The City of Napa shall either be a signatory to the agreement or a third-party beneficiary to the agreement with the right but not the obligation to enforce the obligation and secure attorney's fees for legal counsel to enforce such obligations.
  - (3) Updated information, including contact information, must be provided to the municipality whenever a property is sold and whenever designated individuals or contractors change.
  - (4) Appropriate easements or other arrangements satisfactory to the City Engineer and City Attorney necessary or convenient to ensure the feasibility of the scheme and fulfillment of maintenance responsibilities shall be secured and recorded prior to improvement plan approval.
  - (5) All development projects must be planned, designed and constructed consistent with the post construction standards in the city's NPDES permit and in accordance with the post construction storm water management requirements established by the city, including but not limited to, the current version of the Bay Area Stormwater Management Agencies Association Post-Construction Manual or an updated version of that manual or other post-construction storm water management standards as adopted by Council resolution..



- (6) The owner of the real property shall provide a written document, deed, agreement or similar writing acceptable to the Director, obligating the project proponent, their successors in control of the project and successors in fee title to the underlying real property (or premises), to assume responsibility for the operation and maintenance of all installed treatment systems and hydromodification controls, if any, for the project.
  - (7) The owner or operator of any installed treatment system or hydromodification control shall provide the Director with information and physical access necessary to assess compliance with this chapter, with the city's NPDES permit, and with any writing establishing operation and maintenance responsibilities and shall pay the city an annual fee for inspection and maintenance services in accordance with the latest Master Fee Schedule adopted by the City Council. (O2014-15, 11/18/14)
- 32. WATER FACILITIES - The following items related to water facilities shall be shown on the improvement plans or completed prior to approval of the plans. The Water Division shall review and approve these items:
  - a. The plans shall show all existing water facilities (commercial, fire, irrigation, etc.) to the property and adjacent parcels and all the easements within a minimum of 50 feet of the proposed project boundaries.
  - b. The plans shall show the size and location of all appropriately sized proposed water services (commercial, fire, irrigation, etc.) and tie-in locations, surrounding utilities, etc.
  - c. All existing service laterals to the project parcel shall be used prior to the installation of new services from the City water main.
  - d. Any unused service shall be abandoned at the City water main.
  - e. Installation of a sufficient number of water main valves as directed by City of Napa Water Division at City-approved locations.
  - f. If frontage improvements move the curb line or if new curb is installed along the property frontage, existing water facilities fronting the project shall be relocated to the new back of curb.
  - g. Domestic water shall be supplied by a master meter placed in the public right-of-way with private service laterals extending to the point-of-use.
  - h. A separate irrigation service shall be installed from the City water main if the project contains 5000 square feet or more of landscaping.

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- i. A separate dedicated fire service shall be installed from the City water main for fire sprinklers and private hydrants. On-site hydrants, if required, shall be privately owned and maintained.
- j. All new and existing public water facilities, including but not limited to water meters, backflow devices, service laterals, and fire hydrants, shall be located outside of all driveways and driveway approaches.
- k. Approved backflow prevention devices shall be installed on all new and existing domestic, irrigation, and fire water services.
- l. If the domestic and/or fire service double check backflow device is to be installed in a vault or other structure, the plans shall include specifications for the vault or structure and shall specify which backflow device(s) will be placed in the vault or structure.
- m. Installation of additional corrosion protection measures on all public water facilities which at a minimum, shall consist of cathodic protection (CP) test stations, anodes, bond wiring, plastic sleeves, insulating flange gaskets, grounding components, et al. with electrical conductivity that is confirmed, tested and accepted by the City of Napa.
- n. No signs, fences, trees, foundations, streetlights, or other permanent structures shall be installed within 10 feet of a City water main or water facility, or within a public water utility easement. The applicant shall provide a copy of the landscaping plan to the Water Division for approval prior to the approval of the improvement plans, to ensure these requirements are met.
- o. Fire hydrants shall be kept a minimum of 5-feet from driveways and driveway approaches.
- p. Proposed separations between public water facilities and other utilities shall meet the required minimum separations as specified by the Department of Health and the City of Napa Public Works Standards and shall be approved by the City of Napa Water Division.
- q. Existing services and/or service laterals that conflict with the driveway and driveway approaches shall be abandoned at the main and installed in a new location at the sole cost of the Developer. Existing service laterals shall not be laterally extended across driveway frontage in order to avoid placement within a driveway or driveway approach. Existing water facilities located within the proposed driveway, if any, shall be relocated to 3-feet outside the driveway approach.

## ATTACHMENT 1

- r. Relocation of any affected meters, services, hydrants, et al. outside any driveway approach. Abandonment versus relocation shall be at the discretion of the Public Works Water Division.
  - s. Relocation of any affected water facilities and/or appurtenances (e.g. private fire hydrants, backflow devices, meters, etc.).
  - t. Water services may not be shared across property boundaries per Section 13.04.230 of the Municipal Code. Each parcel shall be served by a separate water meter and service from the City main.
  - u. All proposed hot taps to an existing City water main shall be labeled "Hot Tap By City Forces at Contractor's Expense".
  - v. Screening for the above-mentioned backflow devices to address the visual impacts.
  - w. Installation of a sufficient number of water quality monitoring/sampling stations at City-approved locations.
  - x. Designate applicable on-site fire hydrants as private.
33. MISCELLANEOUS - The following items shall be shown on the improvement plans prior to approval of the plans:
- a. The Applicant shall connect the project to the Napa Sanitation District for sanitary sewer service. Sewer services shall be shown on the improvement plans and shall be installed in accordance with Napa Sanitation District standards and reviewed and approved by the Napa Sanitation District.
  - b. The Applicant shall provide a recycling/solid waste enclosure in accordance with Chapter 17.52.39, et seq. of the City of Napa Municipal Code and the City's "Solid Waste and Recycling Enclosure Standards". The location, layout and dimensions of this facility shall be shown on the improvement plans.  
(Note that collection by Napa Recycling and Waste Services is limited in the downtown area to 5:00AM to 2:00PM, therefore a yellow curb would not ensure unrestricted access, as per Napa Municipal Code Section 10.36.020(2); "Yellow means no stopping, standing or parking at any time between 8:00 a.m. and 6:00 p.m. of any day except Sunday and holidays for any purpose other than the loading or unloading of passengers or materials, provided that the loading or unloading of passengers shall not consume more than three minutes nor loading or unloading of materials more than 20 minutes." A yellow curb would therefore not prohibit parking between 5:00AM and 8:00AM.)
    - (1) A drain connected to the sewer system shall be provided in the trash room(s).

## ATTACHMENT 1

- (2) This project is also subject to the requirements in Napa Municipal Code Chapter 5.6 Garbage Collection and Disposal regarding use of containers, sanitation of enclosure(s), etc.
- c. This project is subject to City Ordinance O2010 18 which requires projects that exceed \$100,000 in building valuation or exceed 5,000 sq.ft. of new, improved, or remodeled areas to file a Waste Reduction and Recycling Plan (WRRP) with the building permit application (which will be forwarded by Building Division staff to the C&DD Compliance Official/Materials Diversions staff). No building permit shall be issued for any project until the Compliance Official has approved the WRRP. The plan shall document that recyclable materials shall be site separated for recycling in order to meet the requirement of the City's construction and demolition debris ordinance—recycling mandatory recyclables and exceeding overall 50% diversion. Official weight receipts for each load shall be obtained. Within sixty (60) days of the final inspection, the applicant shall submit documentation (weight tags for the project debris), signed and certified under penalty of perjury, to the Compliance Official that the diversion requirement for the project per the approved WRRP has been met. Sign-off from Materials Diversion for a certificate of occupancy shall not occur until the weight tag documentation is approved. Non-compliance with the plan and City requirements may result in a fine.
- d. Any projections of building appurtenances into public easements, such as building structure, trellis, canopies, awnings, moldings, and any public art shall require approval of the Public Works Director and/or the Community Development Director prior to improvement plan approval. Napa Municipal Code 17.52.370.
- e. The three existing trees and tree wells along First Street that are called on plan sheet DR2 "TO BE REMOVED AND RESET/REPLACED" are to be planted at the same location where these were removed from and shall be subject to the approval of the Parks and Recreation Director. Tree locations were depicted as part of the First Street Streetscape Improvement Project.
- f. The proposed new tree at the west side of the building along First Street cannot be planted at the proposed location because its proximity to the existing storm drain manhole, existing electrical pull box, and existing water meters. Please refer to note above about tree locations.
- g. The proposed outdoor seating shall be approved under a separate Outdoor Dining Permit application and any reference to the outdoor seating and outdoor seating details (tables, umbrellas, dining area dimensions, etc.) shall be removed from the Improvement Plans.
- h. Install all new underground utilities required to serve the project underground.

34. PRIOR TO APPROVAL OF IMPROVEMENT PLANS - Prior to approval of the improvement plans for the project the Developer shall submit documentation to the Public Works Development Engineering Division for review and approval that indicates that the following items have been addressed:
- a. The Applicant shall pay all required water connection fees. No inspections or water service from the Water Division will be initiated until all connection fees for the project have been paid. Fees can be paid at the Water Division office, 1340 Clay Street, in Napa.
  - b. The Applicant shall pay off all current account balances based on the rate in effect at the time of the permit issuance.
  - c. The Applicant shall pay an inspection fee for Public Improvements
  - d. Any work performed on neighboring properties shall be done in accordance with temporary construction easements from the impacted neighbor(s). The easements shall be obtained with copies submitted to the Public Works Development Engineering Division for review prior to the approval of the improvement plans.
  - e. The Developer shall submit to the Public Works Department Development Engineering Division a Soils Investigation/Geotechnical Report in accordance with Section 16.36.200 of the City of Napa Municipal Code with the first improvement plan submittal. The improvement plans shall incorporate all design and construction criteria specified in the report. The geotechnical engineer shall sign the improvement plans and approve them as conforming to their recommendations prior to improvement plan approval. The geotechnical engineer shall also assume responsibility for inspection of the work and prior to acceptance of the work shall certify to the City that the work performed is adequate and complies with their recommendations. Additional soils information may be required by the Chief Building Inspector during the plan check of building plans in accordance with Title 15 of the City of Napa Municipal Code.
  - f. Pothole or otherwise physically determine the actual horizontal location and vertical depth of all existing underground utilities throughout the proposed area of work. Provide all the pothole information and the design of all new utility installations required to serve the project including a schedule for implementation of such work as to prevent disrupting of utility service to adjacent properties.
  - g. Provide acknowledgement by the District Engineer that the design of the sanitary sewer system design is approved by the Napa Sanitation District.
35. PRIOR TO COMMENCING ANY ACTIVITIES ON-SITE – Prior to commencing any ground disturbing activities on-site, the Applicant shall:

## ATTACHMENT 1

- a. Conduct a pre-construction meeting with representatives of the City whereby the Applicant and their Contractor provides the following:
  - (1) (6) full-size bond copies of the approved Improvement Plans for the City's use.
  - (2) (1) job-site copy of the latest edition of the City of Napa Public Works Department Standard Specifications and Standard Plans for their use.
- 36. PRIOR TO ISSUANCE OF A BUILDING PERMIT - Prior to issuance of the building permit for the project the Applicant shall submit documentation to the Building Division for review and approval that indicates that the following items have been addressed:
  - a. The Developer shall furnish proof satisfactory in form to the City Attorney of the acquisition of all rights of entry, permits, easements, etc., necessary to construct the project or to satisfy required project mitigation measures and/or conditions prior to issuance of a building permit.
  - b. STREET IMPROVEMENT FEE - In accordance with Napa Municipal Code Chapter 15.84 and implementing resolutions to pay for the traffic improvements identified therein the Developer shall pay the Street Improvement Fee prior to issuance of any building permit for the project. The fee is required to mitigate the cumulative impact of the traffic generated by the subject project on the City's arterial and collector street system. Such fee shall be payable at the rate in effect at the time of payment. The findings set forth in the ordinance and implementing resolutions are incorporated herein. The City further finds that the calculation of the fees in accordance with the trip generation capacity of development demonstrates there is a reasonable relationship between the amount of the fees imposed and the cost of the street improvements attributable to this project.
  - c. Per the Master Fee Schedule effective November 1, 2015 (Policy Resolution 16), the current rate for the Street Improvement Fee for this project is \$4,106 per 1,000 SF for Downtown Office and \$4,647 per 1,000 SF for Downtown Quality Restaurant.

## ATTACHMENT 1

	Land Use	Unit (KSF)	Street Component Rate	Utility Underground Rate	Street Component Fee	Utility Underground Fee
New Use	Downtown Office	13.725	\$4,106/KSF	\$273/KSF	\$56,354.85	\$3,746.93
	Downtown Quality Restaurant	5.34	\$4,647/KSF	\$310/KSF	\$24,814.98	\$1,655.40
Existing Use (credit)	Downtown Quality Restaurant	6.7	\$4,647/KSF	\$310/KSF	(\$31,134.90)	(\$2,077)
					\$50,034.93	\$3,325.33

- d. The above fee amounts are provided based on the current rates. City fee amounts are updated periodically. The developer shall pay the fees based on the rate in effect at the time of payment.

37. **PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY OF THE FIRST UNIT**  
 - Prior to issuance of a certificate of occupancy for the first unit the Applicant shall submit documentation to the Building Division for review and approval that indicates that the following items have been completed as reviewed and approved by the Public Works Department Development Engineering Division:

- a. All onsite and offsite improvements shall be installed to the satisfaction of the City Engineer prior to occupancy.
- b. The Applicant shall complete the water demand mitigation requirements of this project as specified by the City of Napa Water Division. The Applicant will be contacted by the City of Napa Water Division after obtaining a building permit specifying the requirements for the proposed project.
- c. Submit any remaining meter set and/or hot-tap fees to the Water Division at 1340 Clay Street, Napa, 94559.
- d. Submit certification that all backflow devices have been installed and tested by an AWWA certified tester (a list of testers is provided by the City of Napa) to the City of Napa Water Division.
- e. Provide the Water Division with written documentation identifying building connections, points of service and water boxes. The documentation shall include APN of the parcel, street addresses associated with the parcel and the new water service account numbers specific to the addresses and/or parcels being served.

## ATTACHMENT 1

- f. The improvements identified on the Public Street Repair Plan shall be completed.
- g. All road surfaces shall be restored to pre-project conditions after completion of any project-related pipeline installation activities.
- h. Developer shall replace any damaged curb and gutter along street frontages in accordance with the conditions stated above and the Public Works Department Standard Specifications prior to occupancy.
- i. Submit an inspector's punch list indicating that all of the "Public & Private Improvements" are constructed to the satisfaction of the City Engineer.
- j. Submit a certification by the Geotechnical Engineer of Record that all the work has been completed in substantial conformance with the recommendations in Soils Investigation/Geotechnical Report.
- k. The Applicant shall complete the Final Stormwater Inspection Sign Off form as specified in the Stormwater Control Plan and include the contractors and engineer of records signature verifying all post-construction bmp's have been installed and inspected as designed per the approved plans. A copy of the form may be requested from the Public Works Development Engineering Division – Stormwater Program.
- l. Submit a certification by the Engineer of Record that all work has been completed in substantial conformance with the approved Improvement Plans and Stormwater Control Plan.
- m. Identify all on-site post-construction stormwater quality bmp's and along the project frontage with the appropriate street address (addresses to be provided by City) and GIS coordinates.
- n. Prior to Final SW Sign off, all disturbed areas shall be installed with final permanent stabilization measures to insure no sediment laden water discharges from the site.
- o. Installation of street paving by the Applicant shall be completed and shall include reconstruction of the existing pavement section as required to provide adequate conforms. The limits of such reconstruction shall be reviewed by the Public Works Development Engineering Division and approved by the City Engineer as part of the construction plan review. Any necessary pavement conforms shall be installed prior to occupancy.
- p. Applicant shall replace any damaged curb and gutter along street frontages in accordance with Public Works Department Standard Specifications prior to occupancy.



- q. Within sixty (60) days of the final inspection, the applicant shall submit documentation (weight tags for the project debris), signed and certified under penalty of perjury, to the Compliance Official that the diversion requirement for the project per the approved WRRP has been met. Sign-off from Materials Diversion for a certificate of occupancy shall not occur until the weight tag documentation is approved. Non-compliance with the plan and City requirements may result in a fine.
- r. The Applicant shall submit to the Public Works Department Development Engineering Division all improvement plans in digital auto-cad format, compatible with the City's current version, and tied to the City's coordinate system for all storm drain facilities, water lines, lot lines, sanitary sewer lines, sidewalks and streets. Auto-cad files shall be updated for as-built information and submitted to and approved as complete by the Public Works Department Development Engineering Division prior to occupancy.
- s. The Applicant shall furnish proof satisfactory in form to the City Attorney of the acquisition of all rights of entry, permits, easements, etc., necessary to construct the project or to satisfy required project mitigation measures and/or conditions prior to occupancy.

### 38. PRIOR TO INITIATION OF WATER SERVICE

- a. The Applicant shall have all backflow devices installed. The Developer shall have all backflow devices tested by an AWWA certified tester from (a list of testers provided by the City of Napa). The test results shall be submitted by the Developer to the City of Napa Water Division.
- b. The Applicant shall pay all meter set fees and hot tap fees to the Water Division at the time of installation. Fees shall be paid at the Water Division office, 1340 Clay Street, in Napa.
- c. Construct all water improvements as shown on the approved improvement plans in accordance with City of Napa Public Works Department Standard Specifications and the special conditions listed above.
- d. Ensure all cathodic protection measures are installed, tested, approved and accepted by a City-approved corrosion specialist to ensure electrical conductivity and to confirm all anodes meet the minimum electric potential requirements. All cathodic protection system(s) that fail inspection or testing shall be removed and replaced at the Applicant's expense.
- e. Identify all water meter boxes along the project frontage with the appropriate street address (addresses to be provided by City).

## ATTACHMENT 1

- f. Identify all City fire hydrants (along the property frontage) with City-approved tags.
- g. Provide the Water Division with written documentation identifying specific building connections and points of service. The documentation shall include the APN of the parcel, the street address(es) associated with each parcel, and the new water service account number(s) associated with each parcel being served.
- h. Record all "Private Water Easements" necessary to extend private services behind the public water meter to the properties of which they serve, as approved by the City.

### Napa Sanitation District

- 39. A plan showing the required sanitary sewer improvements shall be prepared by a registered civil engineer conforming to NapaSan standards, and shall be submitted to NapaSan for approval.
- 40. Sanitary sewer facilities are required to have a minimum of 24" of cover at all points within the public right of way. The proposed sanitary sewer facilities shall be designed to meet this requirement.
- 41. The applicant shall propose sanitary sewer connection(s) for this project; the sewer connection design shall consider all available alternatives to provide for gravity discharges (i.e. not a pumped system). Any existing sewer lateral(s) connection(s) that will not be re used shall be demolished and capped at the connection(s) to the sewer main(s). NapaSan has determined that the existing 6 inch AC public sanitary sewer lateral connected to the 8 inch CIPP lined AC main in Brown Street is not suitable for re use. If the project proposes a connection to the Brown Street sewer main the existing lateral shall be demolished and/or replaced.
- 42. All sanitary sewer work in the public right of way shall be performed by a Class A licensed contractor bonded with NapaSan for the cost of the work.
- 43. A grease interceptor will be required for any restaurant or food service type of uses. The grease interceptor shall be located in a location approved by NapaSan and the City of Napa Public Works Department.
- 44. No floor drains are allowed in the building except in the restroom and food service areas.
- 45. Discharge lines from the elevator sump pits shall not be connected to the sanitary sewer system.

46. The proposed development would be subject to the following fees, based on the rates in effect at the time they are paid:
  - a. Plan Check Fees
  - b. Inspection Fees
  - c. Capacity Charges for commercial space based on the square footage of each space and type of use.
  - d. Capacity Charges for outdoor seating areas based on the square footage of outdoor seating and use.
47. NapaSan adopted a Collection System Master Plan (CSMP) in December 2007. The growth projections in the CSMP are consistent with the City of Napa General Plan, the Napa County General Plan, and the General Plan Update in progress at that time. This project may be developed at an intensity greater than was specified in the City of Napa General Plan. The CSMP identified several trunk pipelines in existing collection systems that have capacity deficiencies during wet weather flow conditions directly related to inflow/infiltration (I&I). This project may be upstream of pipelines that were identified by the CSMP as lacking sufficient wet weather capacity. Development of this property may increase projected sewer flows. Development of this property may create additional impacts to the downstream trunk pipeline that were not considered in the CSMP. NapaSan may require the project to participate in an I&I reduction project consistent with the requirements of NapaSan Board Resolution 11 025. Contact the District for additional information.
48. Any trash enclosures with drains connecting to the sanitary sewer shall discharge to a sand/oil/grease interceptor prior to the sanitary sewer and conform to NapaSan standards. Contact NapaSan for additional information.
49. The District has updated sanitary sewer and recycled water standard specifications and details. The updated specifications and details are available online at the District's website ([www.NapaSan.com](http://www.NapaSan.com)). The District may revise the standard specifications and details at any time. It is the responsibility of the engineer, contractor, and developer to verify that they are in possession of the current version of the standards prior to design and construction of sanitary sewer and recycled water improvements.

### City General Conditions

50. The plans submitted for improvement plan review and Building Permit review shall include a written analysis specifying how each of the conditions of approval have been addressed or incorporated into either the improvement plan set or building plan set.

## ATTACHMENT 1

51. Unless otherwise specifically provided, each condition of this approval shall be satisfied prior to issuance of a Building Permit, or if a Building Permit is not required, prior to the commencement of use; however, in the event the subject approval is for a tentative subdivision map or parcel map, each condition shall be satisfied prior to final map approval. Applicant's (and landowner's, if different) execution of the City's improvement agreement with required security may be accepted in lieu of condition completion.
52. No use authorized by this permit may commence until after the Applicant executes any required permit agreement.
53. Applicant shall pay all applicable fees and charges at the required time and at the rate in effect at time of payment (in accordance with the City's Master Fee Schedule; see individual departments regarding the timing of fee payment requirements).
54. Applicant shall design and construct all improvements and facilities shown on any approved tentative map, site plan, or other documents submitted for permit approval, and with the plans and specifications submitted to and approved by City, to comply with the General Plan, any applicable Specific Plan, the Napa Municipal Code (NMC), City ordinances and resolutions, the "Standard Specifications" of the Public Works and Fire Departments, as well as any approved tentative map, site plan or other documents submitted for permit approval and with the plans and specifications submitted to and approved by City.
55. The time limit within which to commence any lawsuit or legal challenge to any quasi-adjudicative decision made by the City is governed by Section 1094.6 of the Code of Civil Procedure, unless a shorter limitations period is specified by any other provision. Under Section 1094.6, any lawsuit or legal challenge to any quasi-adjudicative decision made by the City must be filed no later than the 90th day following the date on which such decision becomes final. Any lawsuit or legal challenge, which is not filed within that 90-day period, will be barred.
56. To the full extent permitted by law, the Applicant shall indemnify, defend, release and hold City, its agents, officers, and employees from and against any claims, suits, liabilities, actions, damages, penalties or causes of action by any person, including Applicant, for any injury (including death) or damage to person or property or to set aside, attack, void or annul any actions of City, its agents, officers and employees, from any cause whatsoever in whole or in part arising out of or in connection with (1) the processing, conditioning or approval of the subject property; (2) any failure to comply with all applicable laws and regulations; or (3) the design, installation or operation of project improvements and regardless whether the actions or omissions are alleged to be caused by City or Applicant so long as City promptly notifies Applicant of any such claim, etc., and the City cooperates in the defense of same.
57. If the Applicant is not the owner of the subject property, all agreements required to be executed by the City must be executed by the Owner(s) as well as the Applicant.

58. The conditions of Project approval set forth herein include certain fees, dedication requirements, reservation requirements and other exactions. Pursuant to Government Code Section 66020(d)(1), these conditions (and mitigations) constitute written notice of the statement of the amount of such fees and a description of the dedications, reservations, and other exactions. You are hereby notified that the 90-day period in which you may protest those fees, the amount of which has been identified herein, dedications, reservations and other exactions have begun. If you fail to file a protest complying with all the requirements of Section 66020, you will be legally barred from later challenging such exaction.
59. Violation of any term, condition, mitigation measure or Project description relating to this approval is unlawful, prohibited and a violation of the Napa Municipal Code and can result in revocation or modification of this approval and/or the institution of civil and/or criminal enforcement and/or abatement proceedings.
60. Project approval would not have been granted but for the applicability and validity of each and every one of the specified mitigations and conditions, and if any one or more of such conditions and mitigations is found to be invalid by a court of law, this Project approval would not have been granted without requiring other valid conditions and/or mitigations consistent with achieving the purpose and intent of such approval.
61. Approval of this permit will become effective, provided no appeals are received within 10 calendar days of the Planning Commission meeting date of June 15, 2017.

I HEREBY CERTIFY that the foregoing resolution was duly and regularly adopted by the Planning Commission of the City of Napa at a regular meeting of said Planning Commission held on the 15<sup>th</sup> day of June 2017 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST: \_\_\_\_\_  
SECRETARY OF THE PLANNING COMMISSION





Bounty Hunter Building

1005 First Street  
Napa, CA 94559

Date: 02.21.2017

3D Renderings & Material Board





## Bounty Hunter Building

1005 First Street  
Napa, CA 94559

Date: 02.21.2017

## Street View 1 - View of North East exterior facade at the corner of First and Main St., Dusk





**Bounty Hunter Building**

1005 First Street  
Napa, CA 94559

Date: 02.21.2017

**Street View 2** - View of North East exterior facade at the corner of First and Main St.

Taylor  
Lombardo  
Architects

LLP

40 Hotelling Place  
San Francisco, CA 94104  
(415) 433-7777 fax  
(415) 433-7717 fax  
taylorlombardo.com



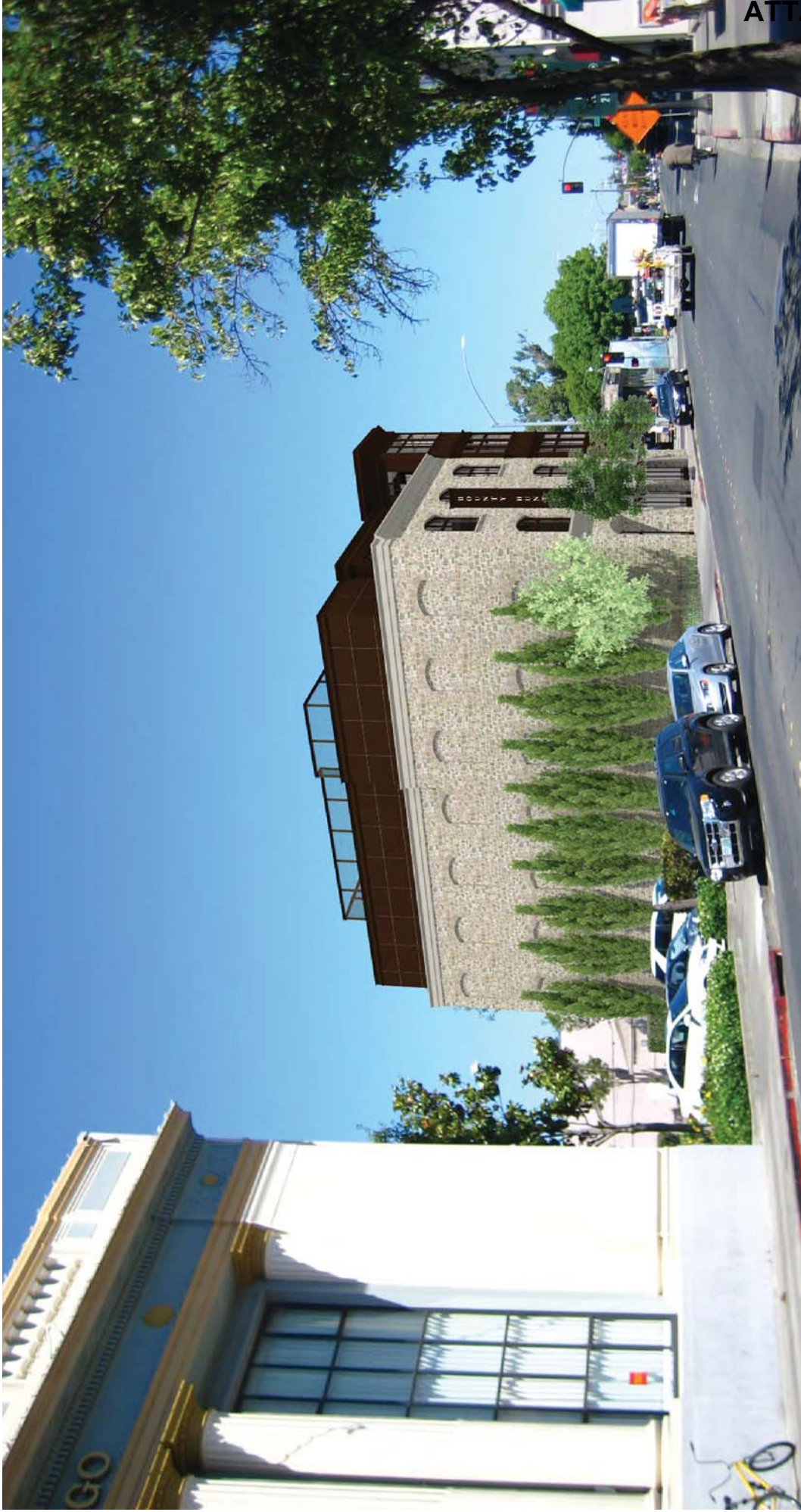
# Bounty Hunter Building

1005 First Street  
Napa, CA 94559

Date: 04.11.2017

## Street View 3 - View of North West exterior facade from First St.





## Bounty Hunter Building

1005 First Street  
Napa, CA 94559

Date: 04.11.17

## Street View 4 - View of South East exterior facade from Main St.

Taylor  
Lombardo  
Architects

LLP

40 Hotaling Place  
San Francisco, CA 94102  
(415) 433-7777  
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taylorlombardo.com

ATTACHMENT 2





**Bounty Hunter Building**

1005 First Street  
Napa, CA 94559

Date: 04.11.2017

**South Facade**

Taylor  
Lombardo  
Architects

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taylorlombardo.com





## Bounty Hunter Building

1005 First Street  
Napa, CA 94559

Date: 02.21.2017

## Street View 5 - View of First St. facing East

ATTACHMENT 2

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Lombardo  
Architects

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## Bounty Hunter Building

1005 First Street  
Napa, CA 94559

Date: 02.21.2017

## Street View 6 - View of First St. facing West

Taylor  
Lombardo  
Architects

LLP

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taylorlombardo.com

ATTACHMENT 2





**Bounty Hunter Building**

1005 First Street  
Napa, CA 94559

Date: 02.21.2017

**Street View 7 - View of First St. facing West at bridge**



**Bounty Hunter Building**

1005 First Street  
Napa, CA 94559

Date: 02.21.2017

**Aerial View** - at corner of First and Main St.

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Lombardo  
Architects  
LLP

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**Stone**  
Main Body of Building

**Bounty Hunter Building**  
1005 First Street  
Napa, CA 94559

Date: 02.21.17

## Material Board



**Cut Stone Sill/Cap Piece**  
(edge orientation)



**Stone/Cut Stone Combination**



**Cut Stone**  
Cornices, Stone Caps, Sills  
(flat orientation)



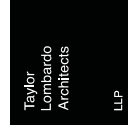
**Steel Frame Close-up**



**Steel Windows**  
All Doors & Windows



**Weathering Steel Panels**  
Corner Bay & Penthouse



40 Hotaling Place  
San Francisco  
California 94111  
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(415) 433-7717 Fax  
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## ATTACHMENT 2





Culinary Institute of America at Greystone, St. Helena, 1888



Cole's Chop House (Williams-Kyser Building), Napa, 1886



Maj(j)sonry, Yountville, 1904

**Bounty Hunter Building**  
1005 First Street  
Napa, CA 94559

Date: 02.10.17

## Historic Stone Building Imagery



Bergfeld Building, Hall Wines, St. Helena, 1885



William Cole Vineyards, St. Helena, 1873



Borreo Building, Napa, 1877



Goodman Library, Napa, 1901



Ladera Vineyards, Angwin, 1886



Vintner's Collective (Pfeiffer Building), Napa, 1875

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Lombardo  
Architects  
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CLIENT:		GENERAL CONTRACTOR:		SURVEY:		GEOTECHNICAL ENGINEER:	
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ARCHITECT:		STRUCTURAL ENGINEER:		MECHANICAL / PLUMBING / FIRE PROTECTION ENGINEER:		ADDITIONAL ENGINEERING:	
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ARCHITECT:		STRUCTURAL ENGINEER:		MECHANICAL / PLUMBING / FIRE PROTECTION ENGINEER:		ADDITIONAL ENGINEERING:	
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MECHANICAL / PLUMBING / FIRE PROTECTION ENGINEER:		ADDITIONAL ENGINEERING:	
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**Site Address:**  
Napa, CA 94559

**Accession's Project Number:**  
Napa Valley Winery, Site 1

**Accession's Project Name:**  
Downtown Core Commercial (DCC)

**Accession's Project Description:**  
Downtown Core Commercial (DCC)

**Accession's Project Location:**  
Downtown Core Commercial (DCC)

**Accession's Project Status:**  
Not Finalized. Currently in planning phase.

**Accession's Project Notes:**  
No final hazard severity rating found.

**Use Group & Occupancy:**  
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Bounty Hunter Building  
1005 & 1025 First Street  
Napa, CA 94559  
APN 003-221-002 & 003-221-001

PLANNED BY: Napa Valley Wine Train  
DESIGNED BY: Taylor Lombardo Architects  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
DATE: 08/22/16

Site Context  
Analysis Board

scale: as noted

revision:

date:

Design Review:

Design Review Results:

Design Review Results:

Design Review Results:

Design Review Results:

Design Review Results:

Design Review Results:

Design Review Results:

Design Review Results:

Design Review Results:

Design Review Results:

Design Review Results:

Design Review Results:

Design Review Results:

Design Review Results:

Design Review Results:

Design Review Results:

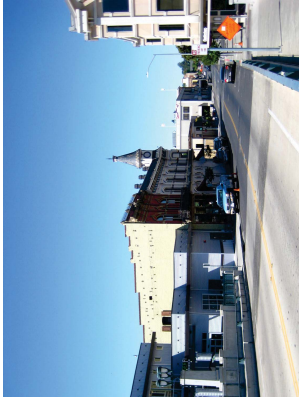
Design Review Results:

Design Review Results:

GO.02



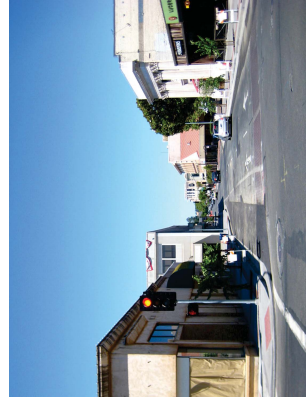
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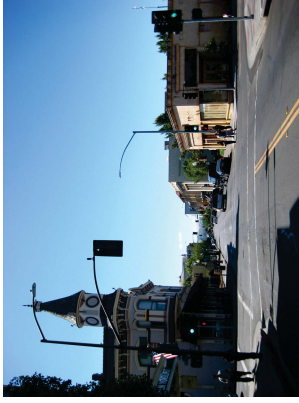
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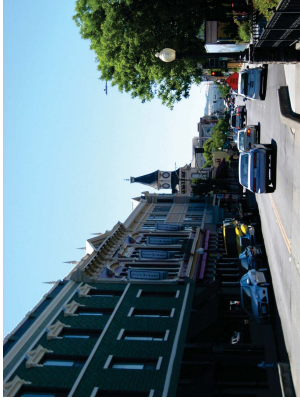
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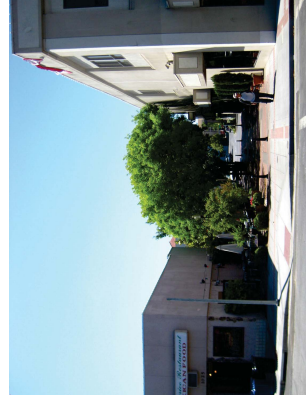
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Site Plan (n.t.s.)



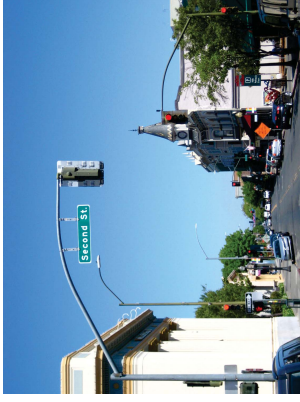
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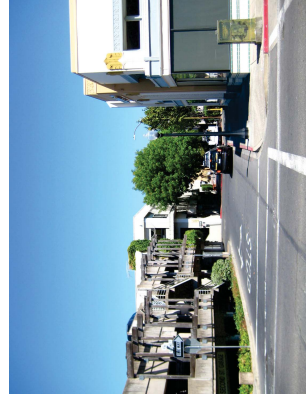
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12



13

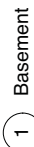
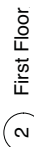


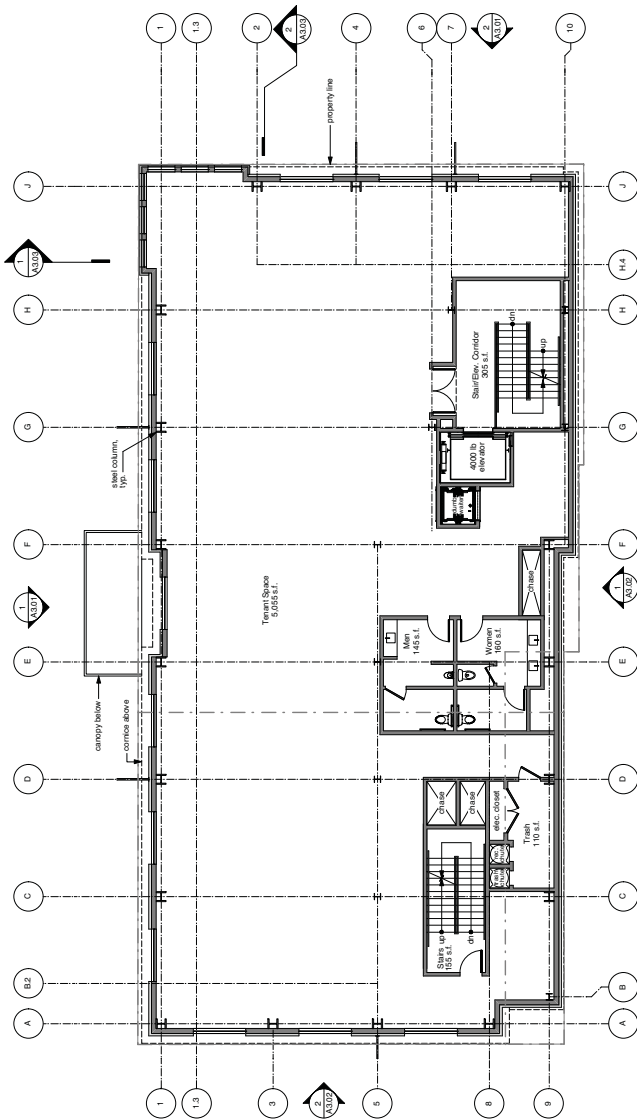
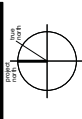
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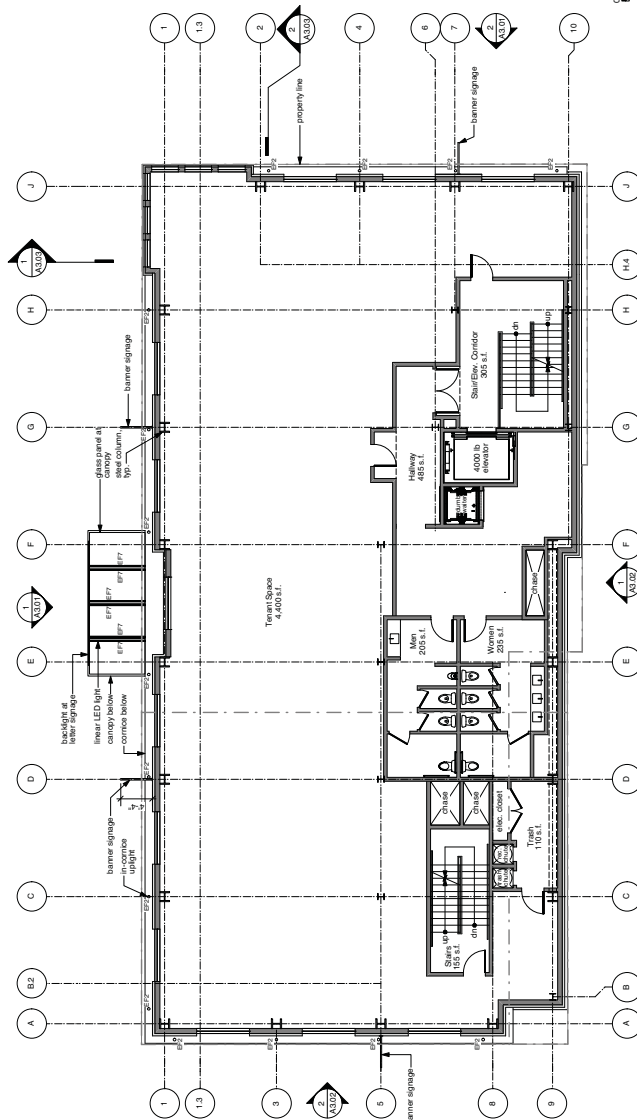






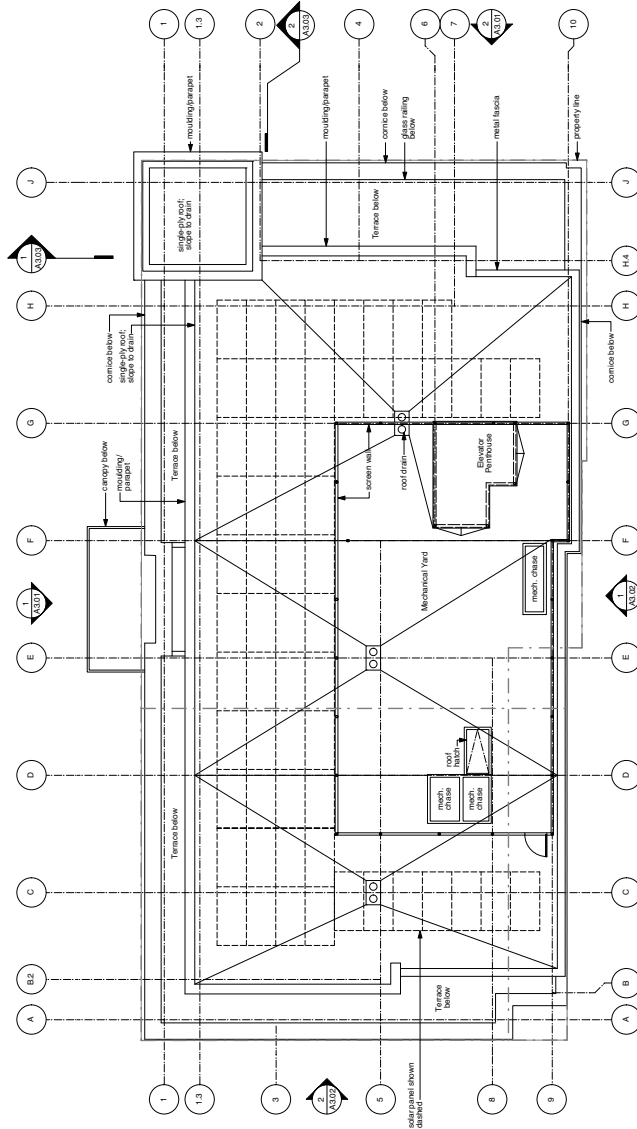


② Third Floor

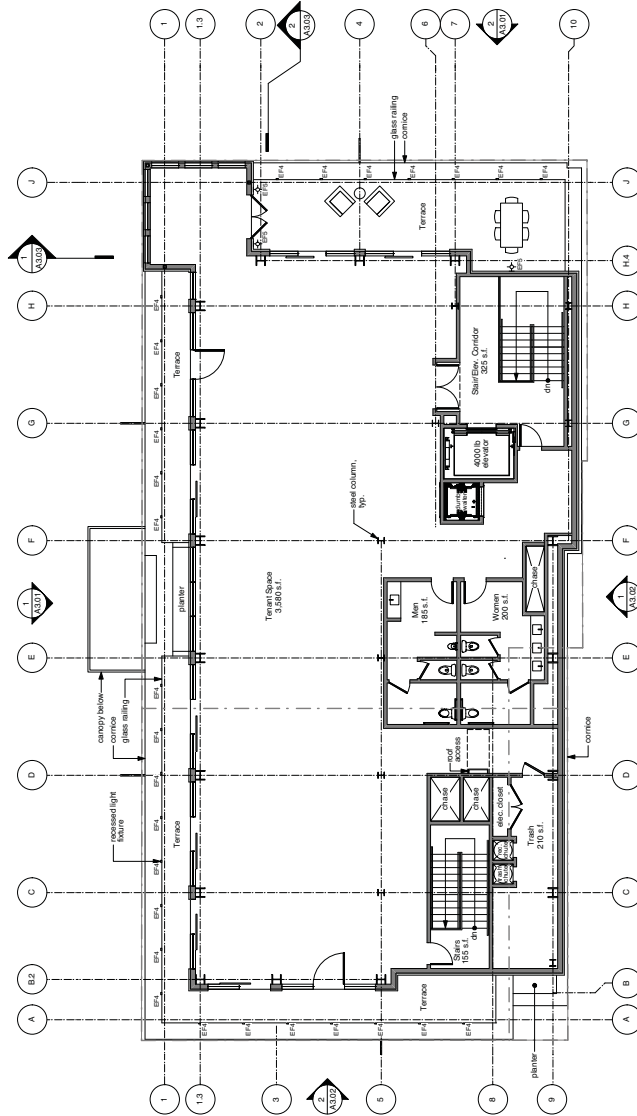


① Second Floor





2 Roof Plan



1 Fourth Floor

**THEOREM 1.** Let  $\{X_n\}_{n \geq 0}$  be a sequence of independent random variables such that

### Exterior Elevations

revision:	date:
Design Review	08/13/2022
Design Rev. Resub.	2/2/22
Design Rev. Resub.	3/04/22

## A3.012



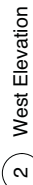
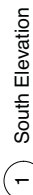
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## Exterior Elevations

$$\text{scale: } 1/10^6 = 1 \times 10^6$$

job no: 1404	drawn: PL/NN	checked: ML	date: 08.22.16	sheet no:
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A3.022



Building  
Sections
$$\text{scale: } 1/\text{ft}^2 = 1.5 \times 10^{10}$$

1048 *Journal of Interpersonal Violence*

Design Review

Design Rev. Resub. 20221

**Abstract**

4

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checked: ML

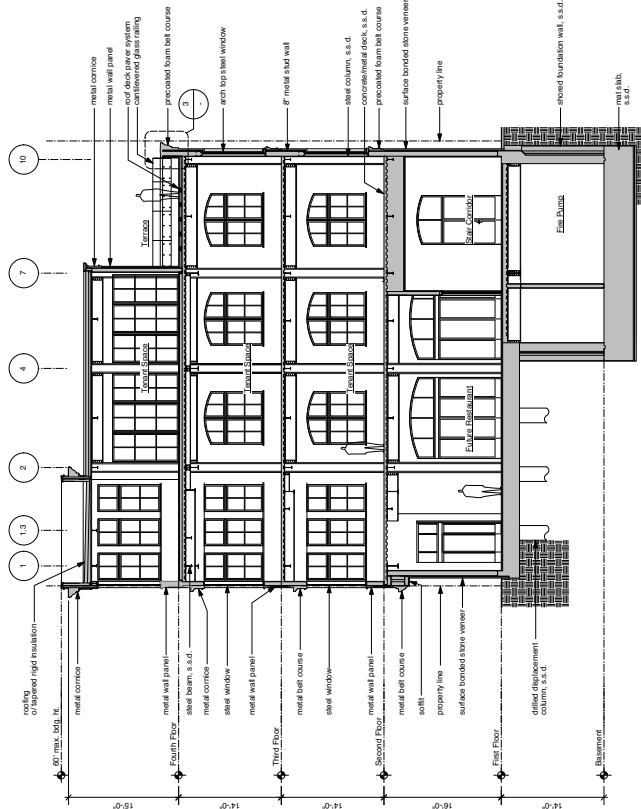
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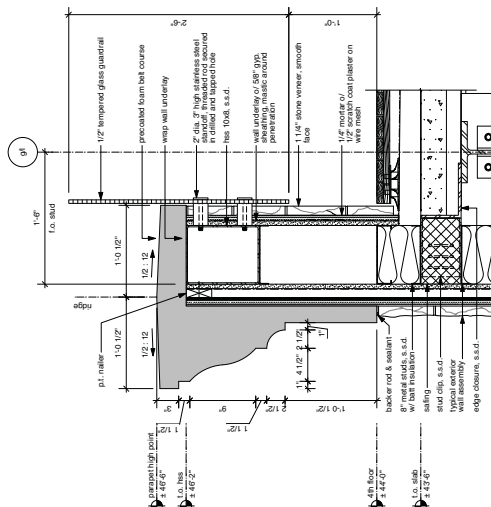
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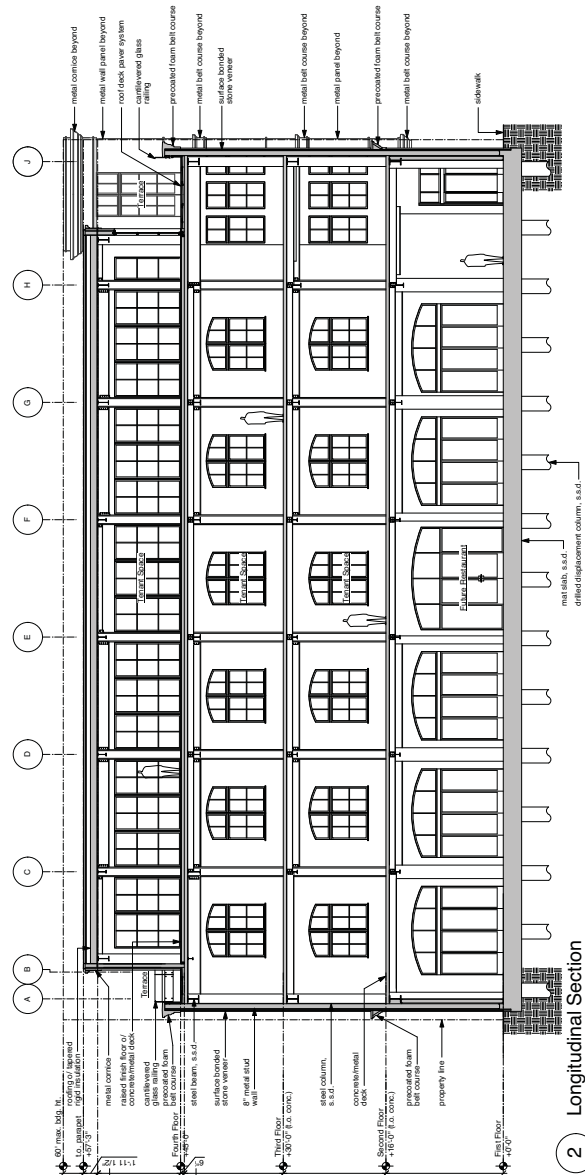
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1 Cross Section

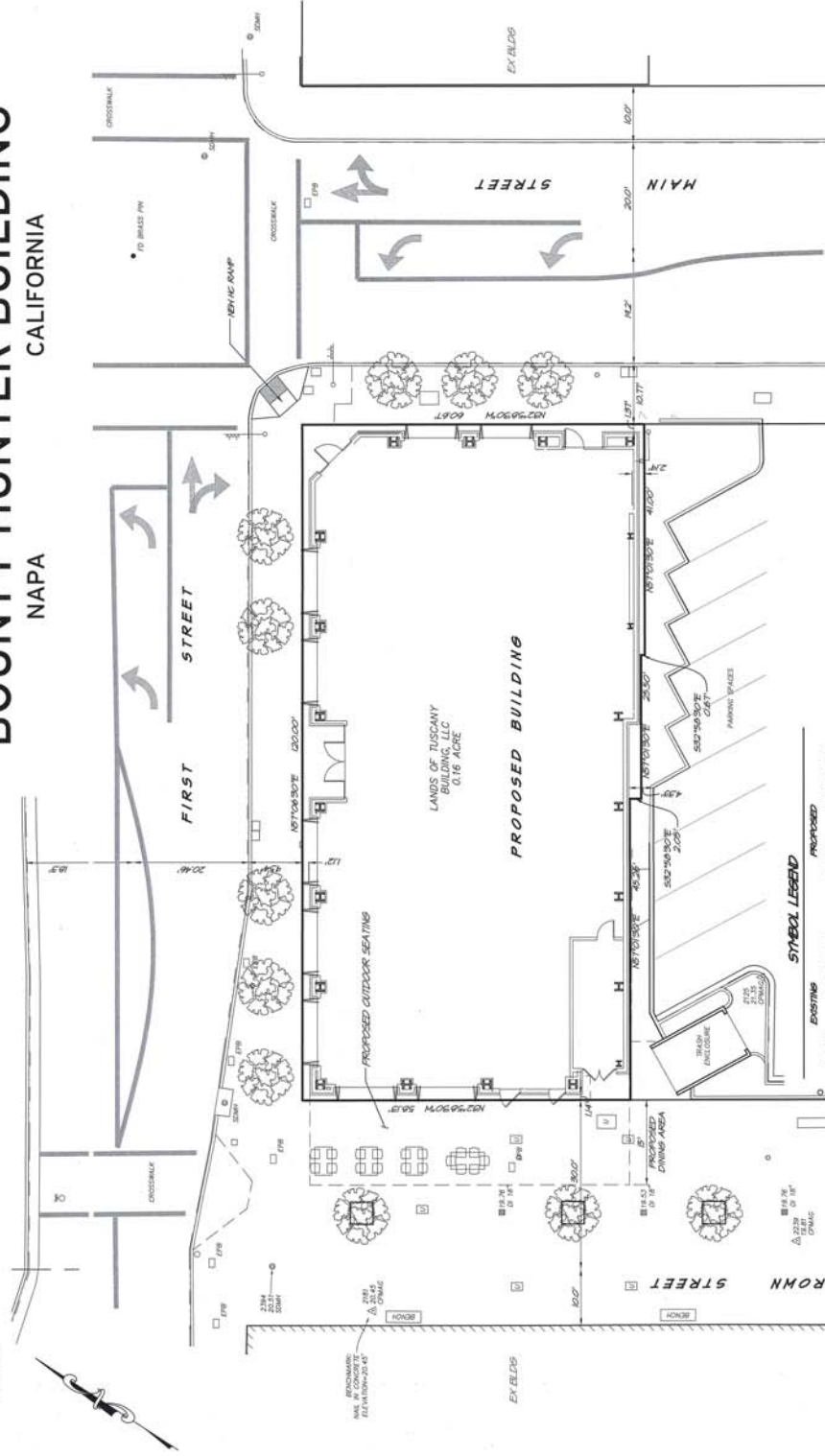


### 3 Guardrail Detail



## 2 Longitudinal Section

GRAPHIC SCALE  
(IN FEET)  
1 inch = 10 FT



SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DRAIN INLET		CATCH BASIN
	CURB & GUTTER		CURB AND PARTER
	GRADE BREAK		DROP INLET
	4" VERTICAL CURB		EXISTING CONTOUR
	SANITARY SEWER LINE		FENCE
	PROPERTY LINE		FIRE HYDRANT
	EASEMENT		PAVED AREA WITH 6" PIPE
	EASEMENT		ROADSIDE SIGN
	STORM DRAIN LINE		SANITARY SEWER MANHOLE
	PARTER TREE		SEWER LATERAL
	PARTER VALVE		SPOT ELEVATION
	TREES TO BE REMOVED		STORM DRAIN LINE
	FIRE HYDRANT TO BE REPLACED		STREET CENTERLINE
	PARTER TREE		PARTER LINE
	PARTER SERVICE		TRAFFIC SIGNAL

[illegible]

APN: 720  
0.16 ACRES

**FUTURE PROPERTY LINE**  
(PER UPCOMING MERGER)

APN: 720 60-0-16

**NOTES**

THE PROPERTY LINES SHOWN ON THIS MAP ARE BASED ON THE ADJACENT LOT BEING 60 FEET WIDE AND 120 FEET DEEP. THE PROPERTY LINES SHOWN ON THIS MAP HAVE BEEN DERIVED FROM A RECENT SURVEY OF THE PROPERTY BY AN INDEPENDENT SURVEYOR. THE PROPERTY LINES SHOWN ON THIS MAP HAVE NOT BEEN VERIFIED BY THE CITY OF NAPA.

THIS MAP IS BASED ON A FIELD BOOK OF FEBRUARY 2018, JULY 2018 AND JANUARY 2020, 2021.

THE VERTICAL CURVE OF THIS MAP IS BASED ON THE CITY OF NAPA CROWN NETWORK, 41 RS 4447.

SITE INFORMATION: DESCRIPTION: CONTROL POINT 20M A MALE SITE 20' EASTING OF THE FACE OF THE BUILDING AND 30' SOUTH OF THE SOUTHERLY GATED AT FIRST STREET ELEVATION = 20.45'

DR1	COVER SHEET
DR2	EXISTING CONDITIONS
DR3	GRADING & UTILITY PLAN
DR4	DELIVERY TRUCK EXHIBITS

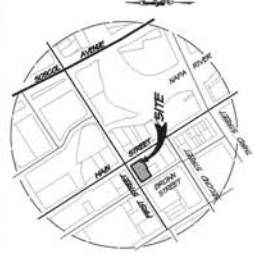
## PROJECT NOTES

1. PROPERTY IS NOT SUBJECT TO INUNDATION BY FLOOD WATERS EXCEPT WITHIN THE 100 YEAR FLOODPLAIN.
2. ALL EXISTING AND PROPOSED EASEMENTS ARE SHOWN.
3. ALL EXISTING AND PROPOSED UTILITIES ARE SHOWN. EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORD DRAWINGS. EXISTING UTILITY DEPT. 15' BURNED PIPES ARE SHOWN BASED ON ANY AVAILABLE EXPLORATION CORRELATED.
4. ALL EXISTING UTILITY POLES AND OVERHEAD LINES ARE SHOWN.
5. CONTOUR LINES ARE SHOWN AT 1 FOOT INTERVALS.
6. THERE ARE NO KNOWN SEPTIC TANKS OR WELLS ON THE SUBJECT PROPERTY.

PROJECT NOTES

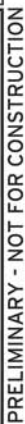
PROJECT INFORMATION

LOCATION MAP

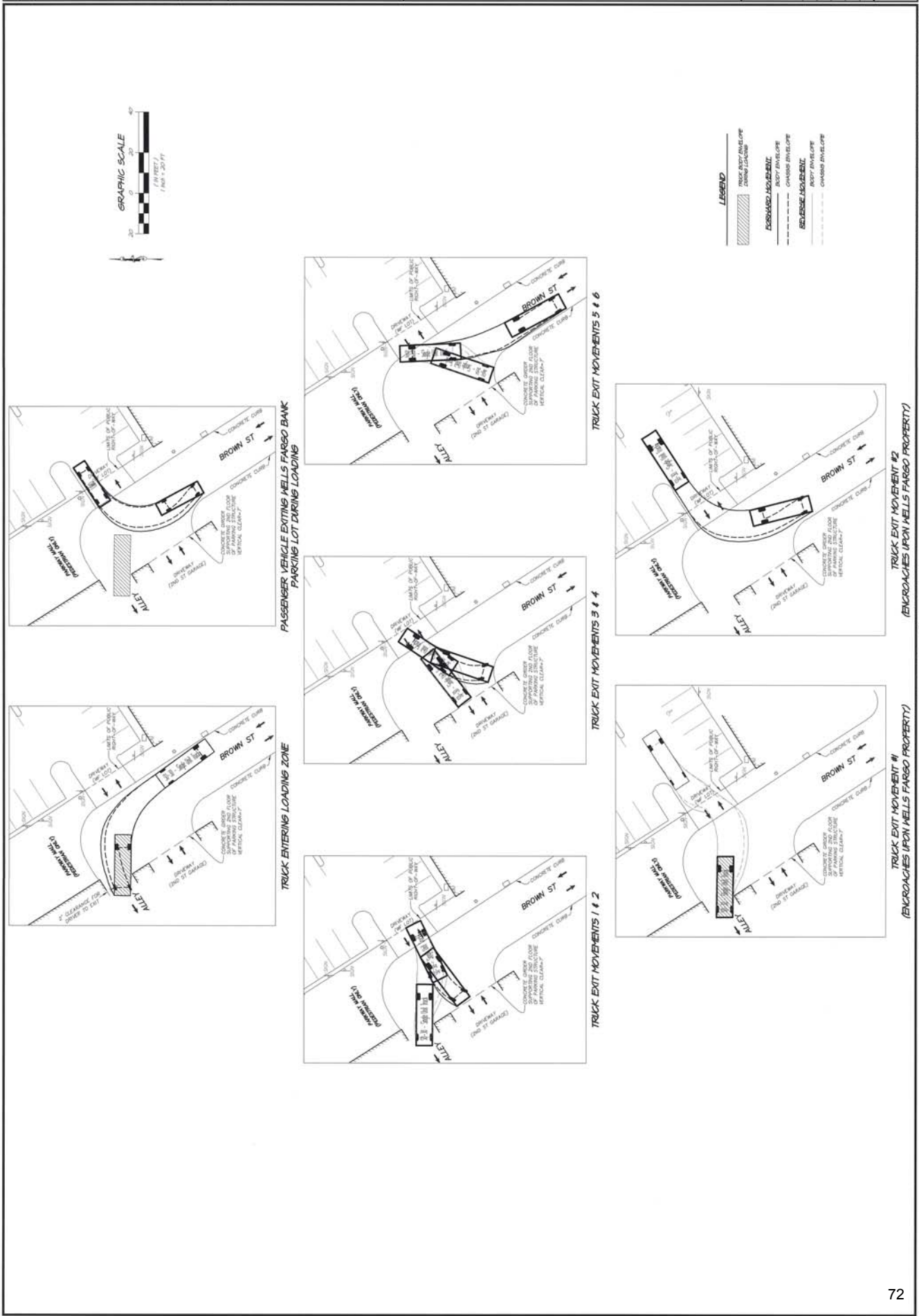


PROJECT INFORMATION	
OWNER:	TECHNARY ENGINEERS, LLC 1000 1020 FIRST STREET MAYFA, CALIFORNIA 94054
CIVIL ENGINEER:	ASHA 1000 1020 FIRST STREET MAYFA, CALIFORNIA 94054
ARCHITECT:	PATRICIA LOMBARDI 40 VETULANS PLACE SAN FRANCISCO, CA 94111
GEOTECHNICAL:	ASH GEOTECHNICAL 1000 1020 FIRST STREET MAYFA, CALIFORNIA 94054
SITE ADDRESS:	1000 1020 FIRST STREET MAYFA, CALIFORNIA 94054
PARCEL NO.:	000-320-001, 000-320-002
EXISTING USE:	RESTAURANT/OFFICE
PROPOSED USE:	CITY OF MAYFA
MATERIAL:	MAYFA SANITATION DISTRICT
SEWERING:	DOWNTOWN CORE COMMERCIAL
EXISTING ZONING:	DC-C40B
GENERAL PLAN DESIGNATION:	













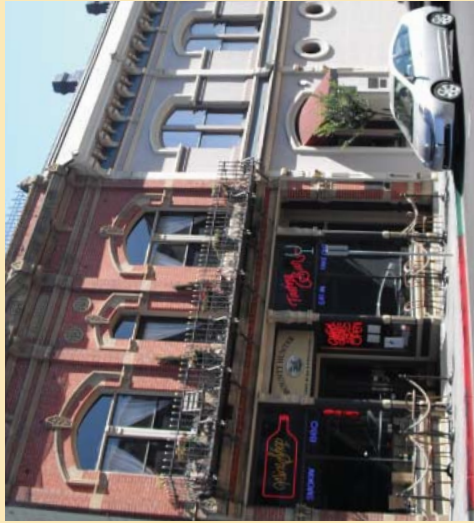


## 5.1 OVERARCHING DESIGN GUIDELINE POLICIES

The intention of design guidelines is to provide a framework for development design. Design guidelines are not intended to be rigid or inflexible. The City requests that every project in Downtown follows these guidelines. However, the City also encourages creative solutions to design challenges, design that is high quality and reflects “outside the box” ideas.

Design guidelines focus on relationships between buildings, space and people. They are used to coordinate and enhance the diverse activities in Downtown. There are many ways to meet a particular guideline and exceptions may be granted, such as in the case of an extraordinary design.

This chapter covers both private and public realm design, as well as guidelines related to historic resources, parking and circulation. The following overarching design policies set the tone for future development.





1. Foster a pedestrian environment by orienting buildings to the street.
2. Maintain the rhythm and scale of the Downtown environment by designing buildings with articulation and architectural features.
3. Strongly encourage the use of setbacks to reduce the impact of taller buildings on pedestrians.
4. Preserve and protect historic resources.
5. Use quality materials and façade elements to provide visual interest and durability.
6. Enhance the ambiance and safety of Downtown through the use of strategically placed lighting elements.
7. Encourage the use of sustainable building design.
8. Ensure that public improvements further the goal of a safe and inviting Downtown.



## 5.2 PRIVATE REALM DESIGN GUIDELINES



*The design guidelines in this chapter coordinate the design of private development and public improvements to create a complete, vibrant Downtown environment.*

Downtown Napa is the symbolic center of the community. It is an identifiable place with distinct boundaries and a unique urban scale. A range of architectural styles and periods is represented and serves to create a distinctive character for the area, one that is highly valued by the city's residents and leaves a lasting, positive impression upon visitors. New buildings and rehabilitation projects should complement this character.

The variety of architectural styles is an asset to Downtown. Regardless of architectural style, development should exhibit attention to detail, quality architecture and materials, and a pedestrian-friendly scale.

The design and orientation of buildings and the spaces around them greatly influence the character of a place. The design of the “private realm” (buildings and land that are on privately-owned lots or parcels) can have a significant impact on the quality of the “public realm,” as private buildings typically provide the edges to streets, sidewalks and open spaces. This interrelationship is critical because together these two realms shape the character, experience and functionality of the city center. New developments should incorporate a diverse range of architectural styles from historically-inspired to modern.

**A. SITE LAYOUT AND BUILDING DESIGN**  
Downtown Napa is characterized by buildings that have strong relationships to the streets. Buildings are generally built up to or close to the sidewalks, providing a well-defined sense of space. Doors and windows orient directly to the streets, creating a feeling of activity and vibrancy. These design relationships should continue to be fostered throughout Downtown.

## Site Layout and Building Orientation Guidelines:

1. Orient buildings so that primary façades and key pedestrian entries face major streets or plazas.
2. Locate ground-floor commercial uses on street corners at key intersections.
3. Corners should be accentuated with height, articulation and unique roof silhouettes to emphasize their presence.
4. Locate semi-private open spaces such as common courtyards to face major streets, activating the street corridor and providing “eyes on the street.”
5. In the Transition area, maintain privacy by positioning windows and upper floor balconies so as to minimize views into neighboring properties.
6. Encourage pedestrian passages that enable through-block pedestrian circulation.



*Design buildings to be oriented to the street. Every building should have its main entrance on a public street.*



*Encourage pedestrian passages that enable through-block pedestrian circulation.*





*Design river and creek frontages to optimize water views, as well as shape and activate the Riverfront Promenade.*



*Design narrow parcels that characterize Downtown (30- to 60-foot typical), with sensitivity to the traditional building size and storefronts.*

6. Locate private parking lots, driveways and loading areas behind buildings, with access from side or rear streets to facilitate active pedestrian edges along building frontages.
7. Design river and creek frontages to:
  - Ensure building façades facing the river are articulated with design elements that activate the riverfront, and with buildings that are massed and sited so as not to “wall in” the river;
  - Encourage mid-block breaks between buildings along the Riverfront promenade, that are pedestrian-oriented spaces such as plazas, paseos or courtyards;
  - Encourage every building and/or shop to provide direct pedestrian access to the Riverfront Promenade, where applicable;
  - Encourage access drives to be centralized wherever possible;
  - Discourage service areas on the river side of any property (or camouflage from public view); and
  - Discourage surface parking lots between buildings and the river edge. However, under certain circumstances parking may extend into river edge setback areas if adequate landscape screening is provided and pedestrian access to the river is not diminished.

## B. MASSING AND SCALE

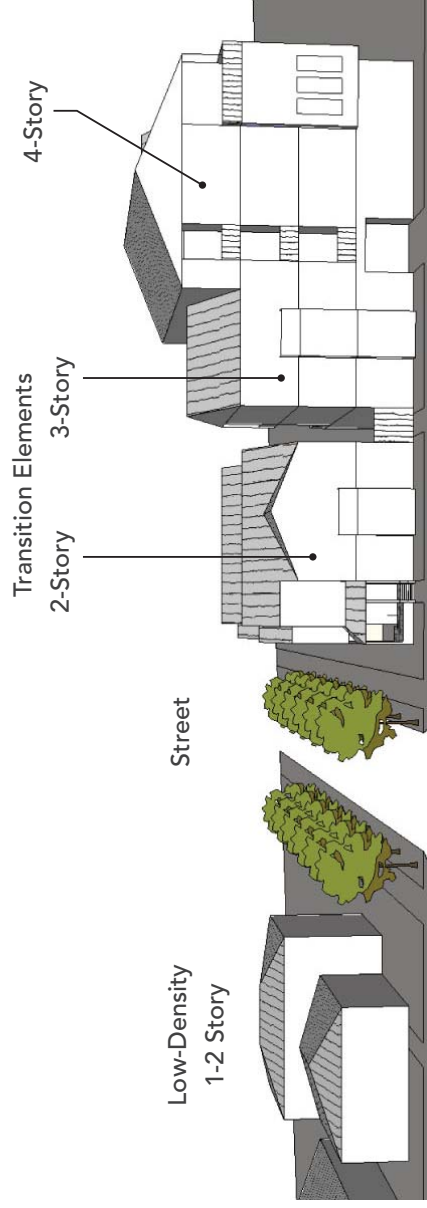
The original Downtown Napa plat contained blocks measuring 240 feet on each side, divided into parcels with frontages typically ranging from 30- to 60-foot wide. This module is evident in the massing and scale of existing buildings, creating the rhythm and “fine-grained” pedestrian scale of Downtown’s streets and should be retained whenever possible..

### Massing and Scale Guidelines:

1. Encourage new development to reflect the narrow parcel increments that characterize Downtown (30- to 60-foot typical), with sensitivity to the traditional building size and storefronts.
2. At major street corners, at the terminus of a street corridor, at gateway locations and at other highly-visible building locations, utilize special architectural features such as gables, turrets, towers and loggias to accent buildings.
3. On highly visible corner parcels, encourage new developments to incorporate special features such as rounded or cut corners, corner towers, inviting corner entrances, corner roof features, special shop windows and/or special base designs, etc.
4. Ensure that projects built adjacent to existing lower-scale residential development respect the scale and privacy of adjacent properties. Transitions can be made by varying the massing within a project, stepping back upper stories and varying sizes of elements to transition to smaller-scale buildings.

5. In areas with a predominantly residential character, create individual front entries for residential units at the street level, or ground floor, to maximize activation, reduce building bulk and emphasize building frontages.
6. Break up the mass of large-scale buildings with articulation in form, architectural details, and changes in materials and colors:
  - Use articulation in form including changes in wall planes, upper-story building setbacks and/or projecting or recessed elements;
  - Incorporate architectural elements and details such as adding notches, grouping windows, adding loggias and dormers, varying cornices and rooflines; and
  - Vary materials and colors to enhance key components of a building's façade (i.e., window trims, entries, projecting elements, etc.).

7. Encourage open spaces, walkways and alleys to break up building mass, allow access through developments and create visual breaks.
8. Encourage a minimum first floor height of 14' in the area identified in Figure 5.1 - Ground Floor Height Guideline Area, to distinguish that area as the retail core of Downtown.



*Transition from higher-density to lower-density development by designing different building sizes and varying building mass so it is compatible with the surroundings.*



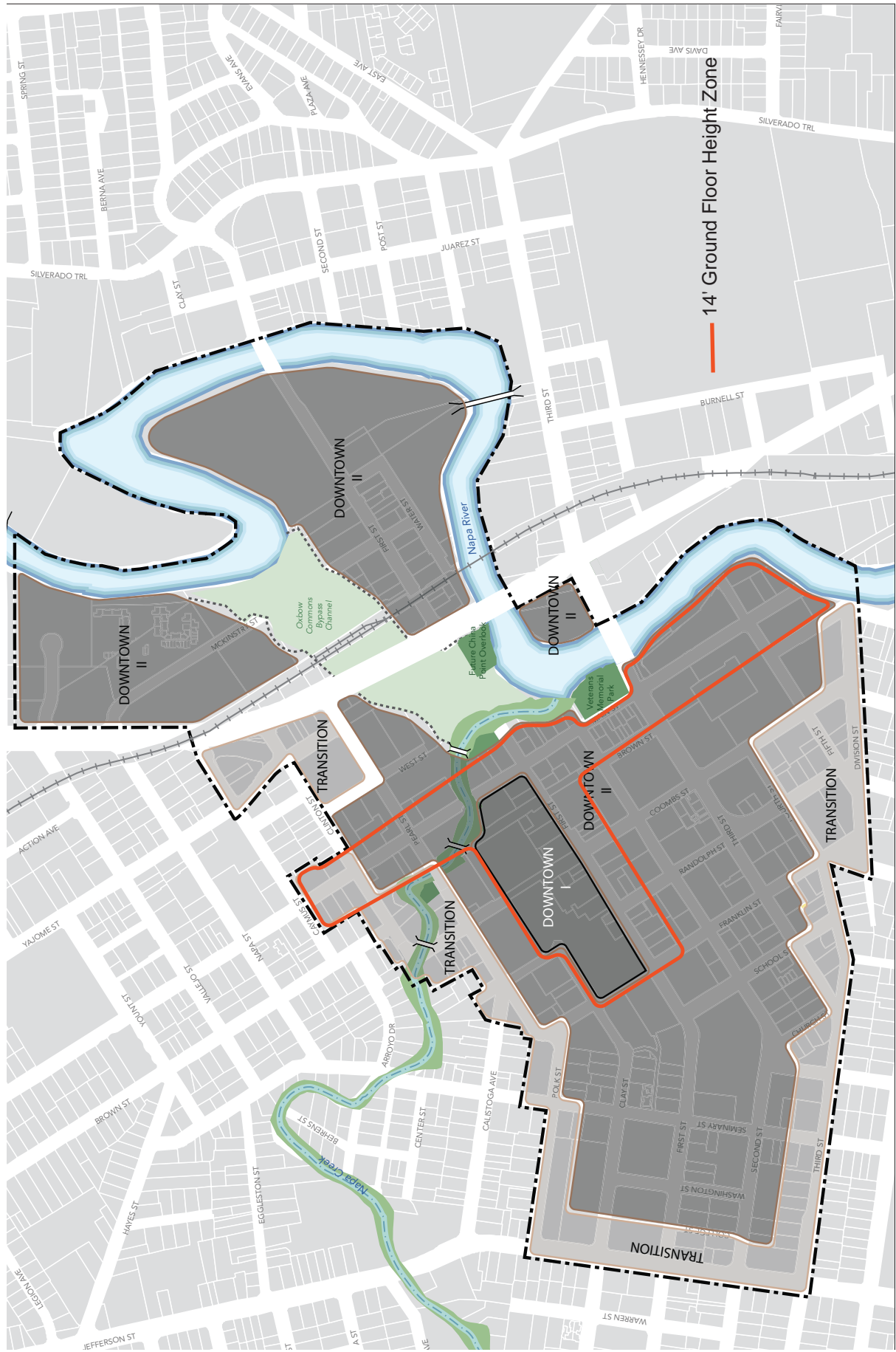
*Group buildings to shape distinct and memorable open spaces such as courtyards, paseos, plazas, squares and greens.*



*Orient doorways and windows to create a strong relationship with the street and engage the pedestrian environment.*



FIGURE 5.1: Ground Floor Height Guideline Area



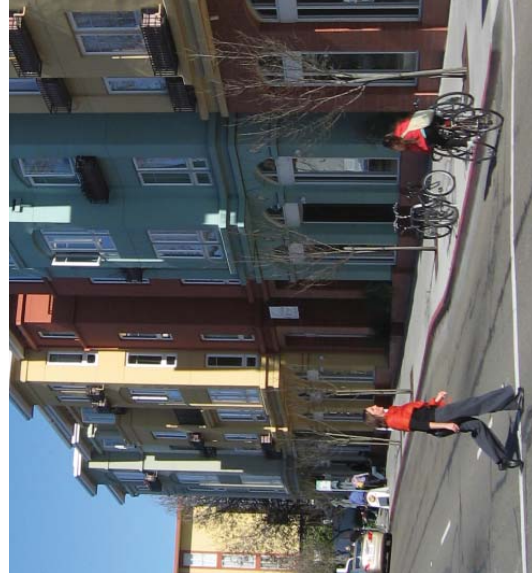
8. Encourage larger developments that group retail, hotel, multi-unit residential and/or office buildings to shape distinct and memorable open space(s), that are accessible to the public. Other clearly-defined spaces for large green areas are recommended including courtyards, paseos and plazas. Special building forms (i.e., towers) and site improvements (i.e., fountains or sculpture) should be incorporated to help organize and accent spaces by framing entrances, terminating views and highlighting central focal points.
9. Break up long horizontal roof lines on buildings with flat or low-pitched roofs by incorporating architectural elements such as parapets, varying cornices and roof lines.
10. Roof lines should be broken at intervals no greater than 50-feet long by changes in height or roof form.



*Utilize special architectural features such as gables, turrets, towers and loggias to accent buildings at major street corners, at the terminus of a street corridor, at gateway locations and at other highly-visible building locations.*



*Encourage vertical building articulation and break up building mass with variation in color or material, open spaces, walkways and alleys to allow access through developments and to create visual breaks.*



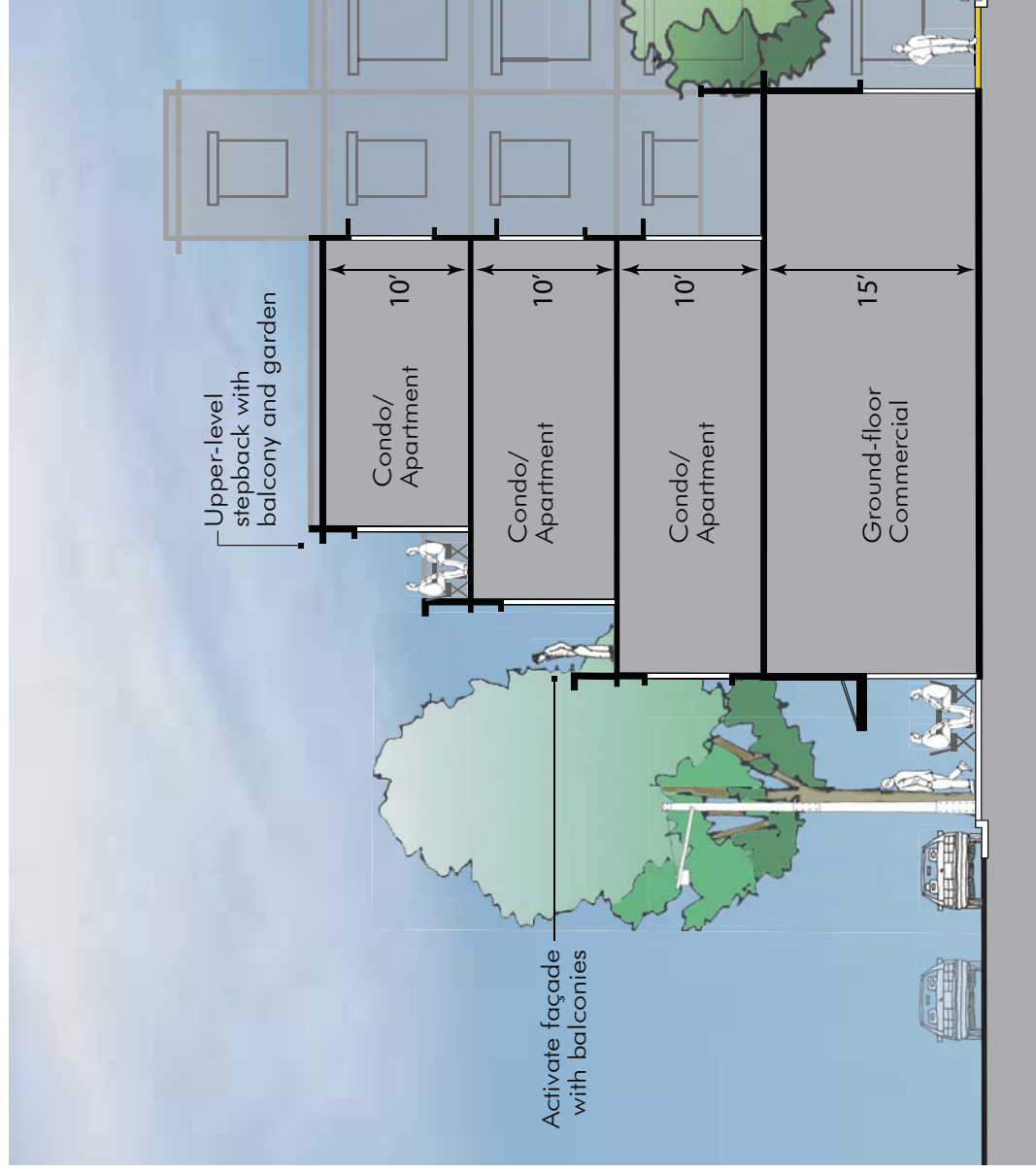
*Encourage vertical building articulation and break up building mass with variation in color or material, open spaces, walkways and alleys to allow access through developments and to create visual breaks.*

## C. BUILDING HEIGHTS AND STEPBACKS

While the height limits allowed in the center of Downtown range from 60- to 75-feet, many existing buildings (particularly buildings with historic character) have façades of a smaller scale. New buildings and building additions should reinforce the historic pattern with heights, setbacks and upper-level setbacks oriented to the many existing two- and three-story buildings.

### Building Heights and Setbacks Guidelines:

1. Retain pedestrian scale with design strategies such as upper-story setbacks.
2. Activate upper-story setback areas with balconies or roof gardens.
3. Give consideration to the potential shading impacts on surroundings. Heights, massing and site plans should respond to potential shading issues, minimizing shading impacts where they would be undesirable or maximizing shading where it is desired.



*Ensure that a building's height, mass and scale do not overwhelm the pedestrian experience on the street. Utilize design strategies such as upper floor setbacks and façade articulation to ensure a comfortable pedestrian scale.*



## D. BUILDING SETBACKS

Setbacks and overall building form should maintain the human scale of the city center, with emphasis on creating an active street edge. The character of the setback area should respond to the surrounding context, whether it be on First Street or a quiet street on the edge of Downtown.

### Building Setbacks Guidelines:

1. Utilize building setbacks and arcaded spaces as an extension of the sidewalk to provide adequate space for pedestrian movement and activity. This space can be used for outdoor seating, street furniture, landscaping and public art that can enliven the streetscape.
2. Utilize front setbacks and side yard spacing, in the Transition districts, that are similar to the pattern of the surrounding neighborhood.
3. Incorporate landscaping that provides screening and includes additional trees that are consistent with the streetscape. Landscaping should be planned and scaled to complement the existing adjacent landscaping and building forms.



*Utilize building setbacks and arcaded spaces to provide adequate space for pedestrian movement as well as outdoor café seating, street furniture, landscaping and public art.*



*Design setbacks for pedestrian use. Consider installing seating and tables, public art and decorative plantings.*



*In the Transition districts (see Chapter 4 – Land Use and Zoning Districts), utilize similar front setbacks and side yard spacing to complement neighboring properties. Incorporate landscaping to provide screening and introduce tree canopies.*

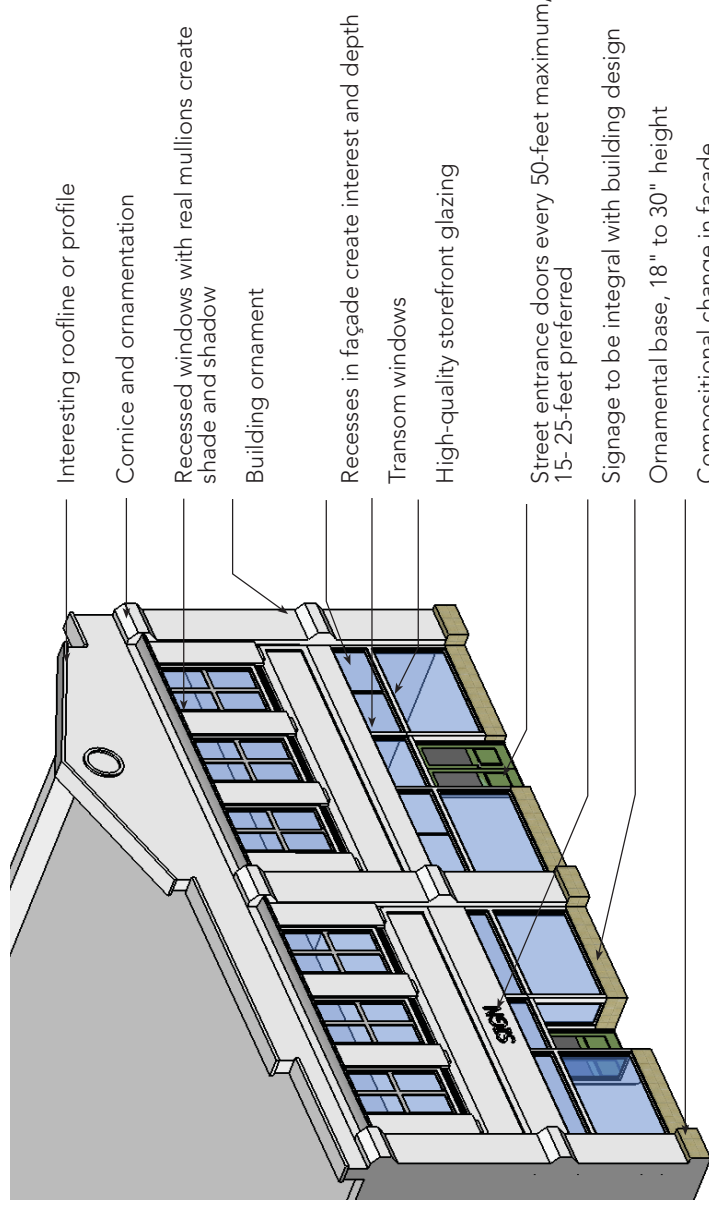


## E. BUILDING FAÇADE ARTICULATION

The design of building façades is important for maintaining the existing scale and character of buildings in the city center. Downtown Napa has many examples of finely detailed building façades that create a rich character and human scale. New infill development should reinforce this character with attention to design details and the articulation of the building façades.

### Building Façade Articulation Guidelines:

1. Maintain the existing scale and character of Downtown buildings by referencing the relatively narrow increments of development established by the original 30- to 60-foot lot frontages. Buildings with longer frontages should have vertical architectural features such as columns or piers to reflect the historic structural bay spacing.
2. Enliven the façade and provide human scale with generous reveals such as inset doorways and windows, as well as projecting elements such as entrance porches, porticoes, canopies, awnings and trellises.
3. Incorporate design details that have purpose rather than being applied or strictly decorative.
4. Avoid large uninterrupted expanses of wall surfaces.
5. Along commercial frontages, entries to shops or lobbies should be a maximum of 50' apart from one another.



*Façade elements help define a building's architectural character and quality of design.*





*Complement the existing scale and character of buildings in Downtown by ensuring that longer frontages have vertical architectural features such as columns or piers that reflect the historic structural bay spacing.*



*Relate ground floor retail to Downtown's traditional storefronts by using large display windows, kickplates, and clerestory and transom windows.*



*Encourage rear and side façades that are visible from the public realm to exhibit sophisticated levels of design and materials.*



5. Include the elements on commercial façades that make up a complete storefront including doors, display windows, bulkheads, signage areas and awnings. Entrances should be recessed from the façade, creating a small alcove. This should apply to both new and rehabilitated buildings.
6. Utilize architectural elements such as cornices, lintels, sills, balconies, awnings, porches and stoops to enhance building façades. Frame south- and southwest-facing windows with protruding vertical or horizontal shading devices such as lintels, sills and awnings to provide adequate protection from glare.
7. Include a level of architectural detailing and quality of materials that complement historic buildings. New buildings need not mimic a "historic" architectural style, and should avoid imitation that results in caricatures.
8. Design display windows to enliven the street and provide pedestrian views into the interior of the storefront.
9. Encourage rear and side façades that are visible from the public realm that exhibit sophisticated levels of design and materials. Rear façades may look like the back of a building but still be pleasant and inviting. Side and rear façades shall have the same level of trim and finish as the front facade.

10. Maximize transparent windows on all sides of buildings, specifically for ground-floor retail and office uses, and do not obstruct views into the space. For residential uses, design balconies with transparent or semi-transparent railings to enhance natural lighting and maximize “eyes on the street.”
11. Encourage retail street frontage to have floor to ceiling windows.
12. Include on upper stories expressive design features such as balconies and bay windows.
13. Reflect the transition in use, scale and height for new projects adjacent to residential neighborhoods, with design elements such as porches, roof slope and architectural features.
14. Ensure that the river-facing sides of buildings are attractive and comparable in level of design attention to the front façades.



*Integrate expressive design features at upper levels, such as balconies and windows, giving mixed-use buildings a rhythm and residential scale.*



*For new projects located adjacent to residential neighborhoods, reflect the transition in use and scale with design elements such as porches, roof slope and architectural features.*



*Ensure that the river-facing sides of buildings are attractive and comparable in level of design attention to the front façades.*





## F. MATERIALS

The choice of materials is one of the most important contributors to defining the character of a building. Materials should be of high quality and detail to provide visual interest and should suggest durability and permanence to last into the future.

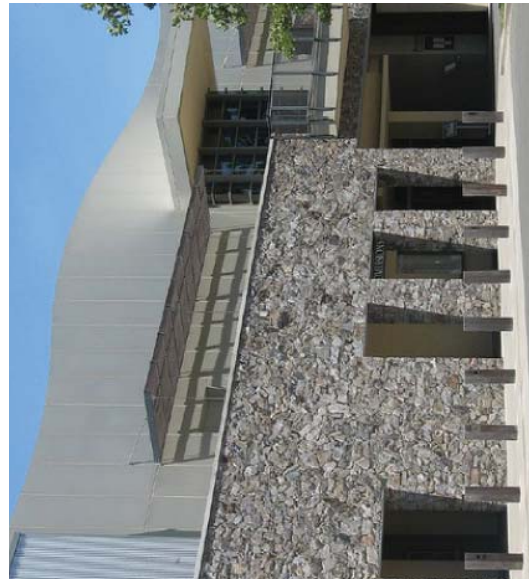
The center of Downtown is particularly unusual for its large number of brick buildings and some natural stone buildings. This is a distinction for Napa, unique to the region. Other areas of the city center feature a range of materials reflecting different eras and building styles.

### Materials Guidelines:

1. Encourage the use of high-quality and detailed materials such as stone, stone veneers, brick and brick veneers for building façades and landscape walls to reinforce the unique use of these materials in Napa. Depending on the context, also consider wood shingles, clapboard and batten board, as well as the use of steel, glass and recycled materials where contributing to the quality of design.
2. Ensure veneers are formed and/or detailed to reflect traditional stone-setting techniques; i.e., "stones" or "blocks" should appear structural and load-bearing.
3. Ensure that buildings are designed with references to a particular style or period, and use materials consistent with that style or period.
4. Encourage clear or lightly tinted glass on ground floor building façades that preserves transparency. Opaque, reflective or dark tinted glass should not be allowed.
5. Encourage trim and metalwork to be related to the building architecture.



*Encourage the use of stone and brick to reinforce the unique use of these materials on many of the historic buildings in Downtown Napa.*



*Integrate building materials that are richly detailed to provide visual interest and durability.*

## G. LIGHTING

Exterior lighting is important both for providing visibility and safety as well as creating ambiance. Lighting can be used to enhance architectural details, landscape features, illuminate sidewalks, pedestrian paths and plazas. The use of lighting should satisfy functional needs while maintaining the small town ambiance of Downtown.

### Lighting Guidelines:

1. Ensure that all light fixtures and poles are architecturally compatible with the building's architectural style.
2. Specify exterior lighting fixtures that are Dark Sky compliant.
3. Ensure building entrances are well-lit with appropriately-scaled light fixtures that complement the architectural style of the building.
4. Verify that fixtures do not cast light directly into adjacent residential windows; a translucent or optical lens diffuser globe or shield is recommended.
5. Balance the need to provide illumination and security:
  - General lighting levels should use the minimum brightness for the illumination of large areas. Brighter light may be used to punctuate and accent important areas such as building entries and special architectural features; and
  - Building-mounted lighting is recommended, particularly in pedestrian-oriented and high-visibility areas, and

6. Color and finish of lighting metalwork should harmonize with building metalwork, if applicable.

7. Architectural lighting can enhance a building during twilight and night time hours:

- Each building has its own unique characteristics that give it texture and form. Features such as doors, window openings, detail cornices, columns or arcades are prime elements for lighting accent;
- Stone and brick building façades can benefit from a "close-in" lighting approach that grazes the light across the surface and calls attention to its textural quality by creating shadows and drama;
- Emphasize the base, middle and top of the building. This allows the building to be viewed from several different vantage points, both near and far from the structure, without looking unnatural;
- All fixtures and wiring should be well hidden in the architectural details so that the lighting has a minimal impact during the day. Fixture size, shape, color and mounting details are important considerations in the integration process;
- Situations where a building façade is washed with bright light from a distant location are to be avoided. This approach "flattens" out the building's texture and causes unnecessary glare to the nighttime users;



*Use building-mounted lighting to accent architectural characteristics.*



*Utilize lighting that maintains the small town ambiance of Downtown.*





*Encourage lighting with separate wallwashing lights or backlighting as silhouettes.*



*Reinforce the pedestrian scale of Downtown with signs that are crafted, high-quality and finely detailed.*

- Light fixtures should be designed so that the light goes exactly where it's intended. Special care should be taken to include louvers, glare shields, or barn doors to the front of floodlight fixtures to prevent light pollution;
- The intent of lighting a building is to enhance the best qualities of that building, not to become a "beacon," therefore, light levels should be appropriate for the amount of illumination intended; and
- Lighting fixtures should be mounted in strategic locations to facilitate maintenance.

8. Ensure that all new lighting considers energy-efficiency and follows Napa's High Performance Building Operations (HPBO) practices and the measures outlined in the HPBO checklist.



*Promote façade signs that are individually lettered.*

## H. BUILDING SIGNAGE

The design of signs is important not just for communicating information but also for reinforcing the architecture of the building and contributing to the overall character of Downtown. Napa's city center is pedestrian oriented so signs should generally be more pedestrian-scaled than elsewhere in the city.

Refer to Chapter 15.56 of the Napa Municipal Code for information regarding size and number of signs permitted.

### Building Signage Guidelines:

1. Encourage signs to reflect a crafted, high-quality, detailed design approach.
2. Ensure sign shapes, type styles and color combinations complement building styles and reflect the business they represent.
3. Encourage signs to reflect the uses they represent in creative and fun, as well as functional, ways.
4. Encourage signage to be wall-mounted or suspend from awnings above the sidewalk. Prohibit signs painted directly onto building walls unless historically accurate for the particular historic structure.
5. Promote façade signs that are individually lettered.
6. Require building-mounted signs to be located on wall areas or architectural features specifically designed for them such as recessed wall areas, towers, turrets or parapets.



7. Prohibit pole-mounted signs, free-standing signs and canned signs (internally illuminated plastic panels in a sheet metal box enclosure).
8. Encourage signs to be subtle rather than dominant over a space.
9. Encourage hanging signs that are perpendicular to the site wall.
10. Consider neon signs where reflective of the style of the use, but not where advertising a product sold.

## I. AWNINGS

Awnings provide visual interest and pedestrian scale at the street level. While awnings may not be appropriate along every façade, in combination with tree canopies awnings can provide shade and shelter for pedestrians. Awnings are most appropriate along south-facing façades where they can provide shade to interiors and support energy-efficiency measures.

### Awnings Guidelines:

1. Encourage awnings, overhangs and arcades where pedestrians can walk and shop, providing overhead protection and highlighting entrances.
2. Ensure that awnings are in scale with the building and are located so as not to inhibit pedestrian movement or views.
3. Design awnings to be decorative, complementary to the overall façade design, and effective for weather and sun protection.
4. Relate the placement of awnings to major architectural elements of the façade, avoiding covering transom windows or architectural elements such as belt courses, decorative trim or other notable architectural façade elements. Awnings should never cover building piers.
5. Encourage awnings to be regularly maintained and cleaned to ensure a desirable presence.
6. Require signage on awnings to be on the street facing side of the valance with a subtle design reflecting the business name or service. Signage on the sloping portion of the awning is not permitted.



*Utilize awnings that are decorative, complementary to the overall façade design, and provide effective weather and sun protection.*



*Ensure that awnings are consistent with the architecture of the building and do not obstruct architectural elements and structural bays.*



## SIGNS GUIDELINES

Signs should be more than a way to relay information. They should enhance and project the character of the buildings and businesses they represent. The objective of the signs guidelines is therefore not uniformity. Rather, the guidelines are basic parameters for effective signs that will project the character and quality desired for the Soscol Avenue Corridor and Downtown Riverfront.

### A. DESIGN OBJECTIVES

Standards and guidelines for commercial signs reflect the following objectives:

- 1) **In General, Signs Should be Located on Buildings.** Signs should be mounted on a visible architectural element that relates to an individual business. Lower-level signs should be provided for pedestrians. Signs should be mounted on functional aspects of the building; e.g., a tower may be provided primarily for the purpose of raising signage for visibility, but it should enclose a useable volume, like an atrium.
- 2) **Signs Should be Proportional to the Size of the Building They Identify.** Signs should be clear and easy to read, but clearly subordinate to buildings. While sign ordinance standards may permit larger wall signs, it is recommended that the sum total of building mounted signs used to identify an individual use not exceed one square foot for each linear foot of business frontage.
- 3) **Signs Should Be Located on a Building in a Place That is Designed for Them.** Windows are often good for small neon signs, but larger signs should be mounted on recessed wall areas and other architectural features. Wall-mounted signs should not crowd surrounding architectural details, such as windows, pilasters, or trim.
- 4) **Custom-Lit Signage is Fine, but Internally Illuminated "Canned" Signs Should Not Be Used.** Canned signs look and often are mass-produced, creating a generic appearance. In contrast, neon signs are usually custom made to suit an individual business and lend a sense of character and energy to a retail environment; they are appropriate in the *Downtown Riverfront* area. Non-neon custom-lit signs are recommended for all other subareas, as well as the *Downtown Riverfront*.
- 5) **Pole-Mounted Signs Should be Removed and Replaced by Architectural Signs.** Pole-mounted signs typically include canned signs, often



*Figurative signs and symbols are encouraged.*

with designs based on a national marketing image. As described under B.4, below, these signs should be replaced by monument/ architectural signs that reflect the form and materials of the principal building. This will help signs to communicate the City of Napa's design goals and the character of local businesses. Landscaping and architectural lighting should be provided at the base of signs as appropriate.

### B. RECOMMENDED SIGN TYPES

1. **Flush-Mounted or Painted Wall Signs.**
2. **Projecting Signs** - provided:
  - a. **Subareas** - signs are on a pedestrian-oriented street in the *Downtown Riverfront*, *Oxbow*, *Central Soscol*, or *Central Silverado* subareas.
  - b. **Clearance** - signs are no less than 8 feet above a pedestrian right of way.
  - c. **Location** - signs are not mounted above the first floor.

3. **Awning and Canopy Signs** - Letters and graphics are limited to front-facing surfaces. Lettering sizes and coverage are per the City Sign Ordinance.

4. **Free-Standing Signs** - New pole-mounted signs, canned signs and/or other forms of freestanding signs except for monument signs should not be permitted. Existing pole signs should be removed and replaced by monument signs.

a. **Monument Signs** - are defined as having a structural base and cap which appears to be as much an architectural feature as a sign. Monument signs should have the same and/or complementary materials and details as the principal building.

b. **Architectural/Landmark Monument Signs** - may be considered for large, multiple tenant buildings or complexes, provided the sign contains identification for tenants and no additional free-standing signs are located along frontages.

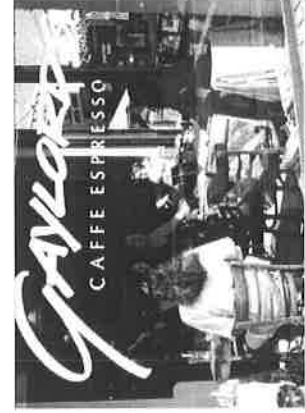
5. **Window Signs** - to a maximum of 20 percent of each window area, provided the signs convey only the business name or logo, are understated and attractive in terms of graphic design and materials (e.g., gilded letters). Bold designs oriented to autos and bright, "day-glow" colors should not be used.

6. **Other:**

a. **Directory signs or kiosks** - are recommended for private arcades or buildings and should be located in publicly-accessible courts, access ways, or passages.

b. **Portable signs** - such as menu boards for restaurants, are recommended only in the *Downtown Riverfront* subarea, subject to City of Napa review (and to the restrictions for such signs found in NMC § 15.56.090 B), and are prohibited outside of the Central Business District. Maximum one per business.

C. **ARCHITECTURAL COMPATIBILITY** - A building's architectural style and overall proportions should guide the design of signs. Building mounted signs should be located on wall areas or architectural features specifically designed for them; these may include recessed wall areas, towers, turrets, or parapets. Free-standing signs should be designed as architectural landmarks that express the design qualities of the building(s) they represent.



Painted window signs should be understated and attractive.



## D. DESIGN RECOMMENDATIONS:

1. **Flush-Mounted and Painted Wall Signs** - should align with major architectural elements, such as doors and windows. Ornamental elements, such as moldings, pilasters, arches, transom windows, roof eaves, and/or cornice lines should be used as a frame.

2. **Projecting Signs**

- a. **Proportion** - Projecting signs with vertically-oriented messages should be slender in appearance, with a proportion of at least 3:1, height to width. Projecting signs with horizontally-oriented messages may be rectangular or square in proportion. Signs located below an awning or canopy as a hanging "blade" sign should also be slender, proportioned roughly 3:1 width to height.
- b. **Structural support** - should be an attractive addition to the overall design of the sign and/or building. Ornamental metal is recommended. Wooden supports are appropriate if designed to complement the sign; undetailed, standard-size lumber should not be used.

3. **Awning and Canopy Signs:**

- a. **Length** - Awnings should reflect building bays/storefronts and should not extend more than 50 linear feet without a break.
- b. **Color** - combinations for awning or canopy signs should be simple. Lettering color and background color should contrast for legibility. Bands of color are appropriate for awnings; more complex patterns or textures should generally not be used.
- c. **Location of messages on awnings** - Awnings are primarily for shade and secondarily a location for information. Lettering may appear on the sloped or curved portion, but should not dominate; ancillary information may be located on the valance (front vertical portion).
- d. **Location of message on canopies** - Signs on canopies should be in the form of letters or signboards integrated with the canopy fascia.
4. **Figurative signs** - shaped to reflect the silhouette of a particular object (e.g., a key, a coffee cup) are encouraged. These may be wall-

mounted or projecting, but should reflect guidelines for the specific type of sign as listed above.

5. **Architectural Signs** - should generally reflect the form and materials of the principal building(s). However, unique sculptural signs may be considered provided they reflect the materials and/or architectural forms that typify the Napa Valley. Landscaping should be provided around the base of architectural signs as feasible.

6. **Banner Signs** - An exception to City sign standards may be considered for projecting vertical banner signs where it is determined they provide a thematic design element for Downtown Riverfront or Oxbow District buildings. Banner signs should be located above the ground floor, project a maximum of 4 feet, and be a minimum of 8 feet in length to appear as and/or be an extension of building pilasters.

Ornamental mounting brackets should be provided at the top and bottom of banners; i.e., banners should not swing freely in the wind. Banner signs should have a high level of graphic design and be made of sturdy fabric (e.g., woven canvas or nylon); plastic banners should not be used.

7. **Not Appropriate:**

- a. **"Canned" signs** - are internally illuminated plastic panels in a sheet metal box enclosure. Canned signs use a limited range of colors and lettering types, and tend to have no relationship to the architectural character of the building.
- b. **Illuminated "balloon" awning signs** - are typical for commercial strip areas and should not be used.
- c. **Banner signs** - not consistent with D.6, above.

E. **MATERIALS** - Recommendations are:

1. **Signboards** - of wood or metal, with painted or engraved letters, or mounted letters of wood or metal.
2. **Silhouette or Figurative Signs** - three-dimensional letters, symbols, and/or ornamental figures made of wood or metal.

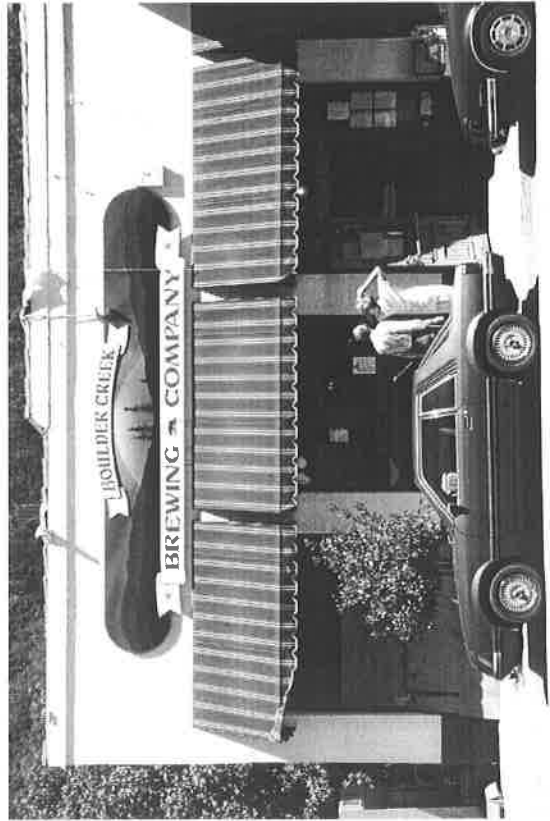
3. **Custom Neon** - exterior-mounted on a sign panel or metal support frame, enclosure, or parapet, or interior-mounted behind transom or display windows.
4. **Fabric Awnings** - such as canvas or nylon, with painted or applied lettering; plastic or metal awnings should not be used.
5. **Not Appropriate** - highly-reflective materials or foils.

**F. LIGHTING** - Recommendations are:

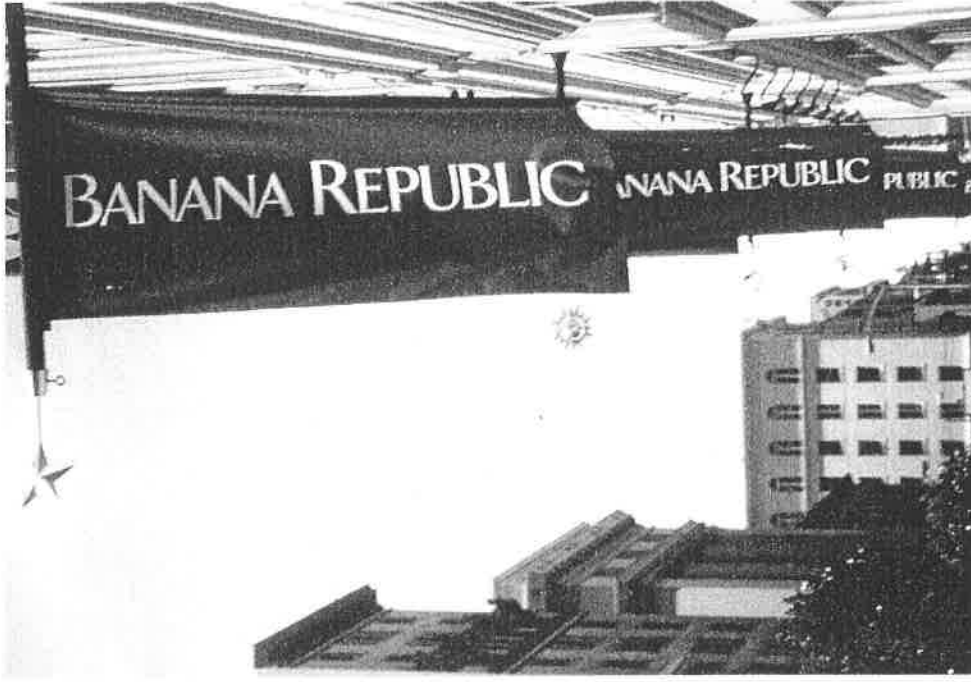
1. **Backlit** - with lighting inside and behind freestanding lettering and/or figurative elements; this does not accommodate illuminated awning signs.
2. **Top or Bottom Lit** - with single or multiple spotlights.
3. **See Lighting Guidelines** - for recommendations on lamp color.

**G. SIGN MAINTENANCE** - Because signs are meant to be seen, maintenance is especially important.

1. **Paint** - Signs shall be retained in good condition, with touch-up or repainting as needed. Peeling paint should be replaced promptly.



*Flush-mounted signs should align with doors and windows.*



*Banner signs will be considered along the Riverfront.*

2. **Repair** - Damaged signs and poles shall be repaired promptly.
3. **Illumination** - Bulbs and fixtures shall be replaced promptly if they burn out or are broken.
4. **Awnings** - Awnings that are damaged and/or faded shall be repaired or replaced promptly.